

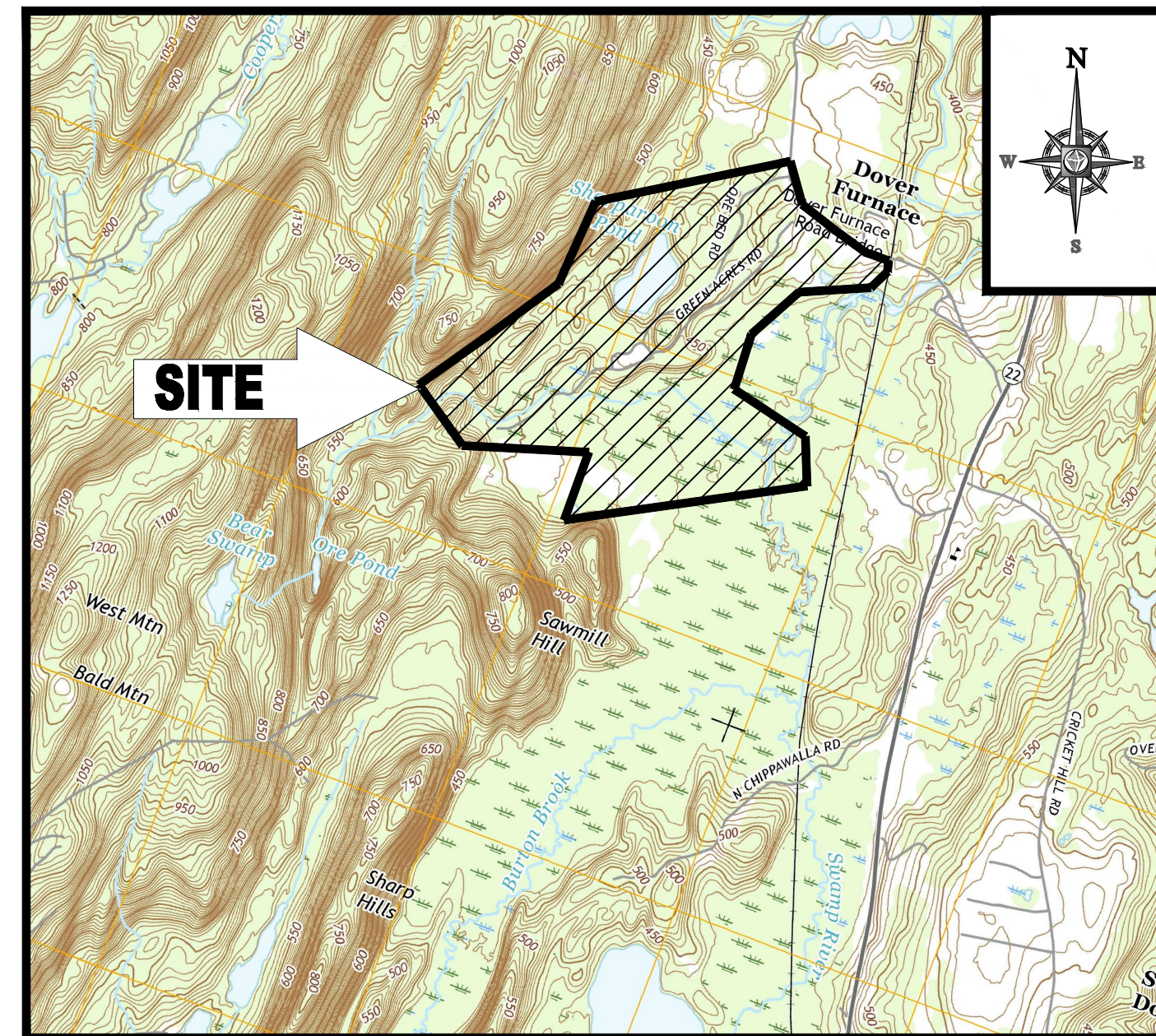
# SITE IMPROVEMENT PLANS

FOR:

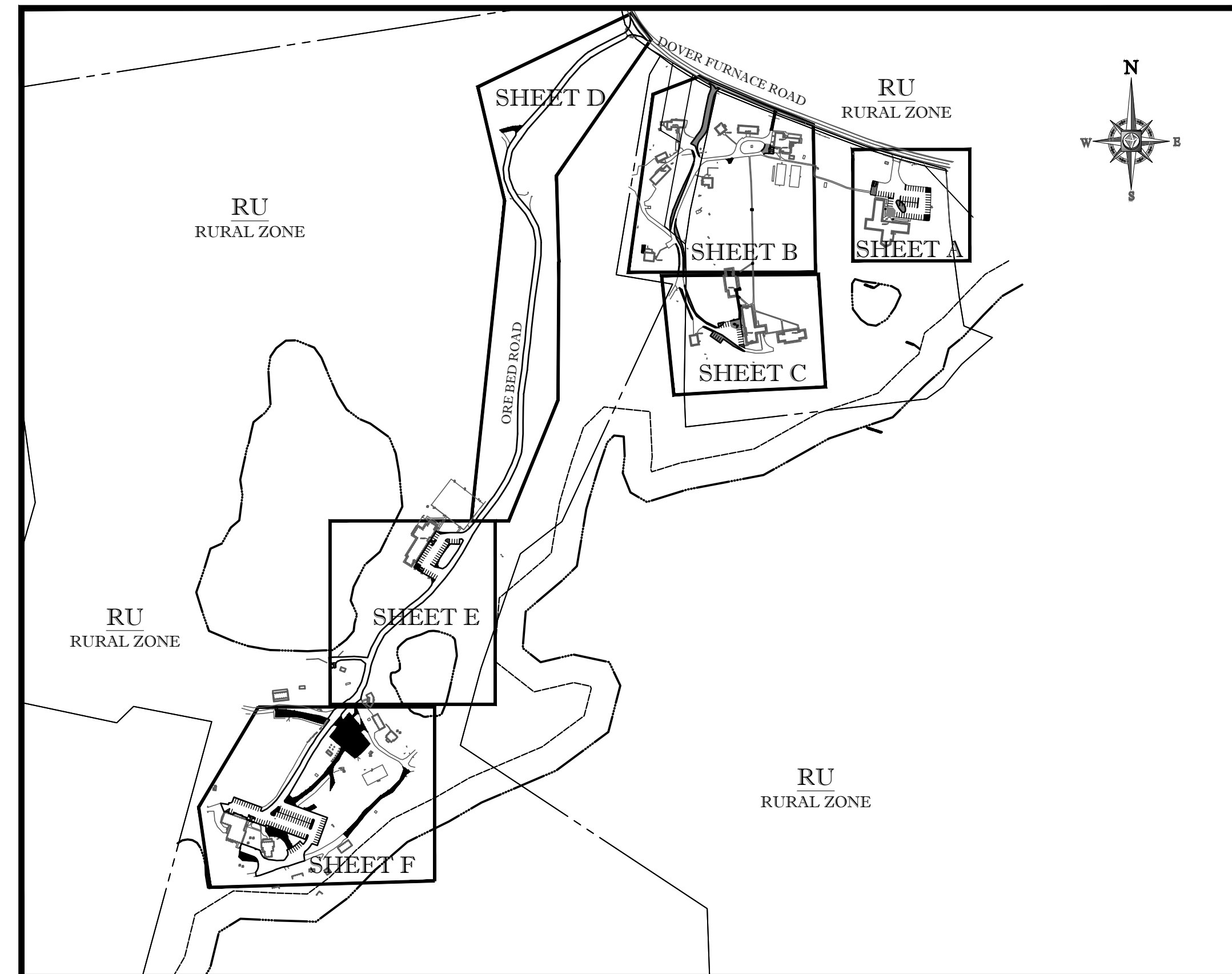
# WORLD OLIVET ASSEMBLY

LOCATION OF SITE:  
115 DOVER FURNACE ROAD  
TOWN OF DOVER  
DUTCHESS COUNTY, NEW YORK STATE

NYS GRID NUMBER: 132600-7061-00-357420-0000, 132600-7061-00-162280-0000



**LOCATION MAP**  
SCALE: 1"=2000'  
PLAN REFERENCE: DOVER PLAINS USGS QUADRANGLE



**AREA PLAN/KEY MAP**  
SCALE: 1"=400'

SHEET TITLE	SHEET NUMBER
COVER SHEET	1-A OF 24
COVER SHEET	1-B OF 24
PHASE 1 SITE PLAN A	2 OF 24
PHASE 1 SITE PLAN B	3 OF 24
PHASE 1 SITE PLAN C	4 OF 24
PHASE 1 SITE PLAN D	5 OF 24
PHASE 1 SITE PLAN E	6 OF 24
PHASE 1 SITE PLAN F	7 OF 24
PHASE 1 GRADING & DRAINAGE PLAN A	8 OF 24
PHASE 1 GRADING & DRAINAGE PLAN B	9 OF 24
PHASE 1 GRADING & DRAINAGE PLAN C	10 OF 24
PHASE 1 GRADING & DRAINAGE PLAN D	11 OF 24
PHASE 1 GRADING & DRAINAGE PLAN E	12 OF 24
PHASE 1 GRADING & DRAINAGE PLAN F	13 OF 24
PHASE 1 EROSION & SEDIMENT CONTROL PLAN A	14 OF 24
PHASE 1 EROSION & SEDIMENT CONTROL PLAN B	15 OF 24
PHASE 1 EROSION & SEDIMENT CONTROL PLAN C	16 OF 24
PHASE 1 EROSION & SEDIMENT CONTROL PLAN D	17 OF 24
PHASE 1 EROSION & SEDIMENT CONTROL PLAN E	18 OF 24
PHASE 1 EROSION & SEDIMENT CONTROL PLAN F	19 OF 24
PHASE 1 EROSION & SEDIMENT CONTROL DETAIL SHEET	20 OF 24
PHASE 1 CONSTRUCTION DETAIL SHEET	21 OF 24
PHASE 1 LIGHTING PLAN A	22 OF 24
PHASE 1 LIGHTING PLAN B	23 OF 24

**SHEET INDEX**

**BOHLER ENGINEERING**  
 SITE CIVIL AND CONSULTING ENGINEERING ARCHITECTURE  
 LAND SURVEYING DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES  
 SUSTAINABLE DESIGN URBAN DESIGN TRANSPORTATION SERVICES  
 CHARLOTTE, NC  
 BALTIMORE, MD  
 ATLANTA, GA  
 BOSTON, MA  
 CHICAGO, IL  
 COLUMBIA, SC  
 DALLAS, TX  
 DENVER, CO  
 HOUSTON, TX  
 KANSAS CITY, MO  
 LOS ANGELES, CA  
 MEMPHIS, TN  
 MIAMI, FL  
 MINNEAPOLIS, MN  
 NEW YORK, NY  
 PHILADELPHIA, PA  
 RICHMOND, VA  
 SOUTH BEND, IN  
 TAMPA, FL  
 WASHINGTON, DC

REVISIONS			
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**PERMIT SET**

PROJECT No.: B190164  
 DRAWN BY: JSH  
 CHECKED BY: SRW  
 DATE: 8/12/2019  
 SCALE: AS NOTED  
 CAD I.D.: B190164SS00(USE THIS)

**SITE IMPROVEMENT PLANS FOR WORLD OLIVET ASSEMBLY**

LOCATION OF SITE  
115 DOVER FURNACE ROAD  
TOWN OF DOVER  
DUTCHESS COUNTY  
STATE OF NEW YORK

**BOHLER ENGINEERING**  
 17 COMPUTER DRIVE WEST  
 ALBANY, NY 12205  
 Phone: (518) 438-9900  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

**W.D. GOEBEL**  
 PROFESSIONAL ENGINEER  
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 RHODE ISLAND LICENSE No. 7289  
 CONNECTICUT LICENSE No. 21854  
 NEW HAMPSHIRE LICENSE No. 10280  
 MAINE LICENSE No. 9490  
 NEW YORK LICENSE No. 031204-1  
 FLORIDA LICENSE No. 65202

SHEET TITLE:  
**COVER SHEET**

SHEET NUMBER:  
**1-A**  
OF 24

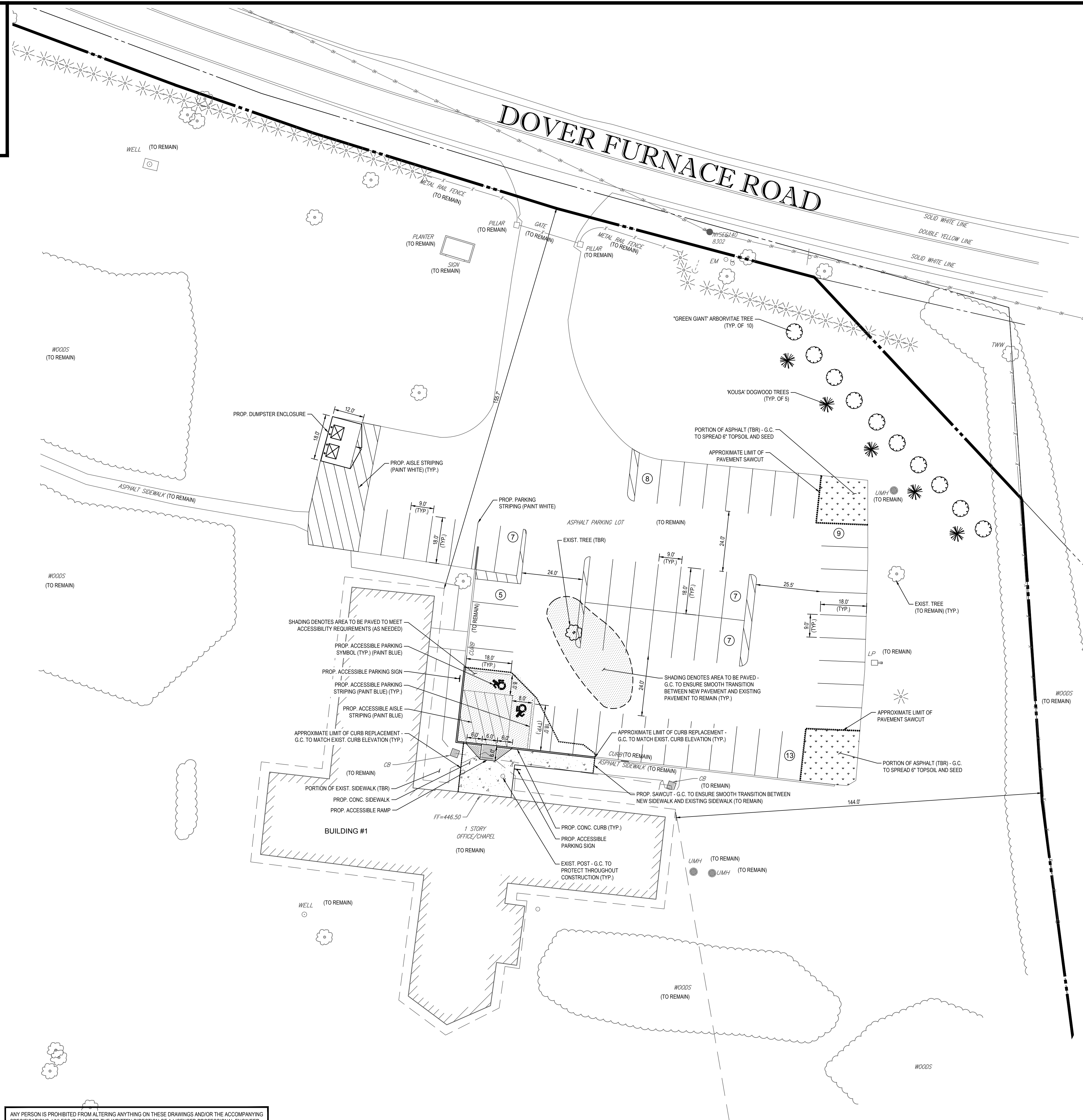
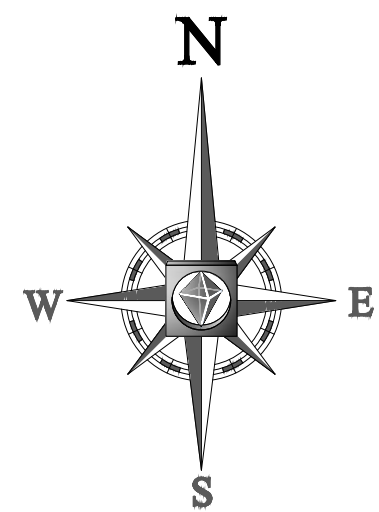
REV 0

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PREPARED BY  
**BOHLER ENGINEERING**

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### LAND USE / ZONING INFORMATION & NOTES

1. APPLICANT:  
WORLD OLIVET ASSEMBLY  
115 DOVER FURNACE ROAD  
DOVER PLAINS, NY 12522
2. OWNER:  
WORLD OLIVET ASSEMBLY  
115 DOVER FURNACE ROAD  
DOVER, NY 12522
3. PARCEL:  
NYS GRID NUMBER: 132600-7061-00-357420-0000, 132600-7061-00-162280-0000  
115 DOVER FURNACE ROAD  
TOWN OF DOVER  
DUTCHESS COUNTY, NEW YORK STATE

ZONING ANALYSIS TABLE			
ZONING DISTRICT	RU RURAL DISTRICT		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	2 ACRES	210+ ACRES	UNCHANGED
MINIMUM LOT FRONTAGE	300'	1,300'+	UNCHANGED
MIN. FRONT SETBACK	60'	155.7'	UNCHANGED
MIN. SIDE SETBACK	30'	144'	UNCHANGED
MIN. REAR SETBACK	50'	250'+	UNCHANGED
MAX. BUILDING HEIGHT	35'	28'	UNCHANGED
MAX. IMPERVIOUS COVERAGE	10%	3.6%	UNCHANGED

PARKING ANALYSIS TABLE				
BUILDING NUMBER	SQUARE FOOTAGE	USE	REQUIRED	PROVIDED
1	8,992 SF	MAIN OFFICE/CHAPEL	34	56

**BOHLER ENGINEERING**

SITE CIVIL AND CONSULTING ENGINEERING, ARCHITECTURE, LAND SURVEYING, TRANSPORTATION SERVICES, SUSTAINABLE DESIGN, PERMITTING SERVICES

- CHARLOTTE, NC
- ATLANTA, GA
- BALTIMORE, MD
- BOSTON, MA
- CHICAGO, IL
- DALLAS, TX
- DENVER, CO
- HOUSTON, TX
- INDIANAPOLIS, IN
- KANSAS CITY, MO
- LOS ANGELES, CA
- MILWAUKEE, WI
- MINNEAPOLIS, MN
- NASHVILLE, TN
- PHILADELPHIA, PA
- PORTLAND, OR
- RICHMOND, VA
- SAN ANTONIO, TX
- SAN FRANCISCO, CA
- SOUTH BEND, IN
- TAMPA, FL
- WASHINGTON, DC
- WICHITA, KS
- WISCONSIN RAPIDS, WI
- WYOMING, WY

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**PERMIT SET**

PROJECT No.: B190164  
 DRAWN BY: JSH  
 CHECKED BY: SRW  
 DATE: 6/12/2019  
 SCALE: AS NOTED  
 CAD I.D.: B190164SS00(USE THIS)

**SITE IMPROVEMENT PLANS FOR WORLD OLIVET ASSEMBLY**

LOCATION OF SITE  
 115 DOVER FURNACE ROAD  
 TOWN OF DOVER  
 DUTCHESS COUNTY  
 STATE OF NEW YORK

**BOHLER ENGINEERING**

17 COMPUTER DRIVE WEST  
 ALBANY, NY 12205  
 Phone: (518) 438-9900

[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

**W.D. GOEBEL**

PROFESSIONAL ENGINEER  
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 RHODE ISLAND LICENSE No. 7289  
 CONNECTICUT LICENSE No. 21854  
 NEW HAMPSHIRE LICENSE No. 10280  
 MAINE LICENSE No. 9490  
 NEW YORK LICENSE No. 07524-1  
 FLORIDA LICENSE #5, 65202

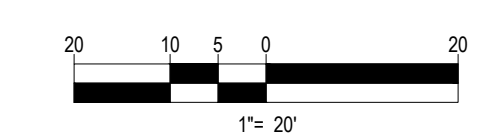
SHEET TITLE:  
**PHASE 1 SITE PLAN A**

SHEET NUMBER:  
**2 OF 24**

REV 0

REFER TO GENERAL NOTES SHEET FOR NOTES

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



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**811**

Know what's below.  
 Call before you dig.

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ZONING ANALYSIS TABLE

ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	2 ACRES	210+ ACRES	UNCHANGED
MINIMUM LOT FRONTAGE	300'	1,300'+	UNCHANGED
MIN. FRONT SETBACK	60'	52.5'	UNCHANGED
MIN. SIDE SETBACK	30'	150'+	UNCHANGED
MIN. REAR SETBACK	50'	250'+	UNCHANGED
MAX. BUILDING HEIGHT	35'	23'	UNCHANGED
MAX. IMPERVIOUS COVERAGE	10%	3.6%	UNCHANGED

PARKING ANALYSIS TABLE

BUILDING NUMBER	SQUARE FOOTAGE	USE	REQUIRED	PROVIDED
5	2,080 SF	SHOP	3	10
6	800 SF	SHED	0	2
7	2,300 SF	SINGLE FAMILY HOME	2	4
8	2,300 SF	SINGLE FAMILY HOME	2	4
10	784 SF	SCREEN HOUSE	0	0
11	1,872 SF	PAVILLION	0	0
32	1,700 SF	SINGLE FAMILY HOME	2	4
33	8,200 SF	DINING HALL	26	10

**BOHLER ENGINEERING**

SITE CIVIL AND CONSULTING ENGINEERING  
 LAND SURVEYING DESIGN ARCHITECTURE  
 SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

NEW YORK: 100 W. 30th St., New York, NY 10018  
 PHILADELPHIA: 1300 Locust St., Philadelphia, PA 19104  
 PITTSBURGH: 1000 12th St., Pittsburgh, PA 15222  
 RICHMOND: 1000 N. 10th St., Richmond, VA 23219  
 WASHINGTON: 1000 14th St., Washington, DC 20004

REVISIONS

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PERMIT SET

PROJECT No.: B190164  
 DRAWN BY: JSH  
 CHECKED BY: SRW  
 DATE: 6/12/2019  
 SCALE: AS NOTED  
 CAD I.D.: B190164SS00(USE THIS)

**SITE IMPROVEMENT PLANS**  
 FOR  
**WORLD OLIVET ASSEMBLY**

LOCATION OF SITE  
 115 DOVER FURNACE ROAD  
 TOWN OF DOVER  
 DUTCHESS COUNTY  
 STATE OF NEW YORK

**BOHLER ENGINEERING**

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**W.D. GOEBEL**

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 RHODE ISLAND LICENSE No. 7289  
 CONNECTICUT LICENSE No. 21854  
 NEW HAMPSHIRE LICENSE No. 10280  
 MAINE LICENSE No. 9490  
 NEW YORK LICENSE No. 05104-1  
 FLORIDA LICENSE No. 65202

SHEET TITLE:  
**PHASE 1 SITE PLAN B**

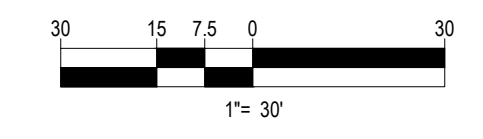
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 OF 24

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REFER TO GENERAL NOTES SHEET FOR NOTES

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



**811**

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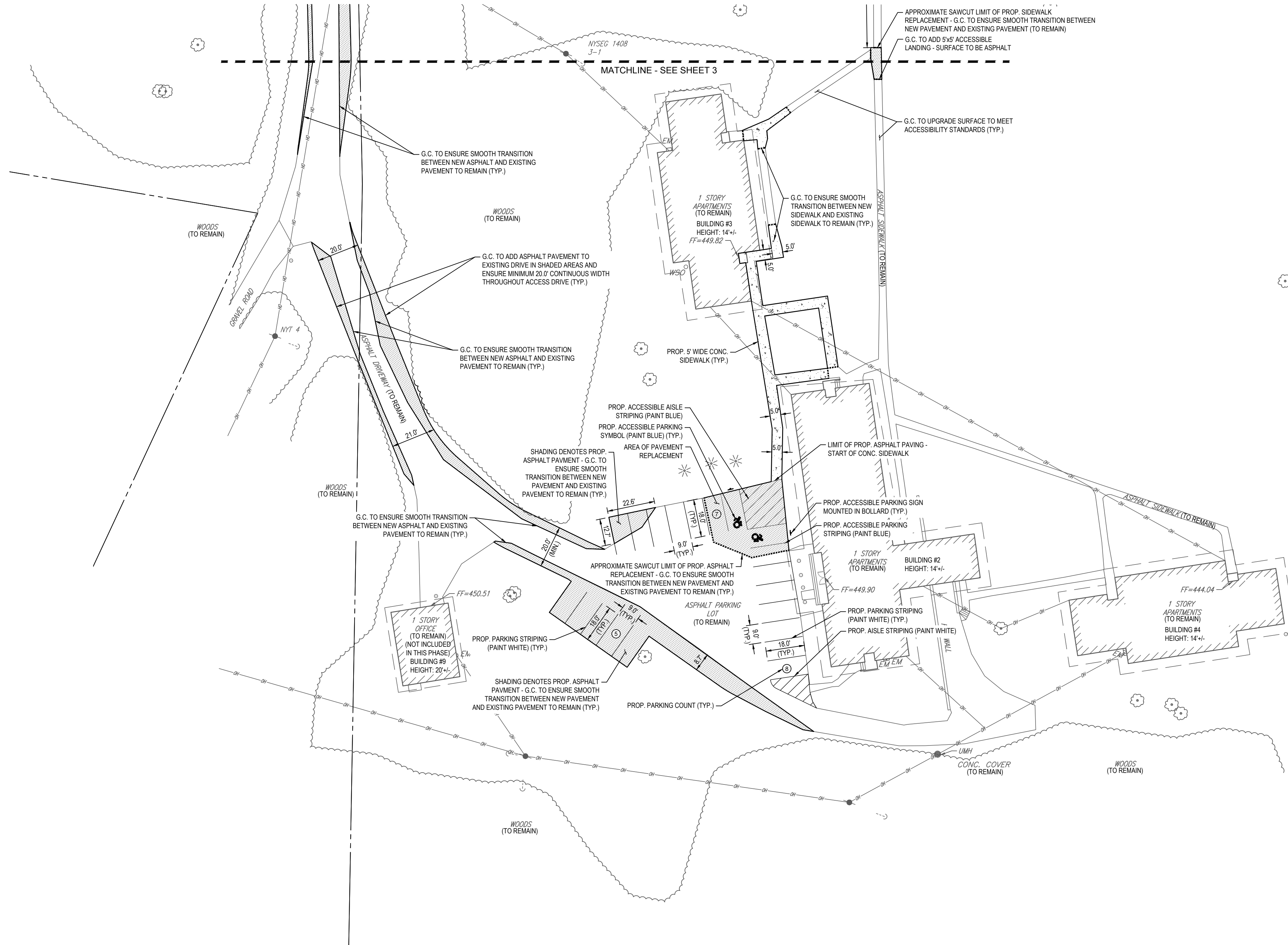


**ZONING ANALYSIS TABLE**

ZONING DISTRICT	RU RURAL DISTRICT		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	2 ACRES	210 + ACRES	UNCHANGED
MINIMUM LOT FRONTAGE	300'	1,300'+	UNCHANGED
MIN. FRONT SETBACK	60'	52.5'	UNCHANGED
MIN. SIDE SETBACK	30'	150'+	UNCHANGED
MIN. REAR SETBACK	50'	250'+	UNCHANGED
MAX. BUILDING HEIGHT	35'	20'	UNCHANGED
MAX. IMPERVIOUS COVERAGE	10%	3.6%	UNCHANGED

**PARKING ANALYSIS TABLE**

BUILDING NUMBER	SQUARE FOOTAGE	USE	REQUIRED	PROVIDED
2	6,030 SF	BIRCH LODGE - 18 UNITS	18	10
3	3,316 SF	MOUNTAIN VIEW LODGE - 12 UNITS	16	10
4	2,300 SF	LAKE VIEW LODGE - 12 UNITS SINGLE FAMILY HOME	16	0
9	1,900 SF	LAUNDRY BUILDING	2	4



**REVISIONS**

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PROJECT No.: B190164  
 DRAWN BY: JSH  
 CHECKED BY: SRW  
 DATE: 6/12/2019  
 SCALE: AS NOTED  
 CAD I.D.: B190164SS00(USE THIS)

**SITE IMPROVEMENT PLANS**  
FOR

**WORLD OLIVET ASSEMBLY**

LOCATION OF SITE  
 115 DOVER FURNACE ROAD  
 TOWN OF DOVER  
 DUTCHESS COUNTY  
 STATE OF NEW YORK

**BOHLER ENGINEERING**

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 ALBANY, NY 12205  
 Phone: (518) 438-9900

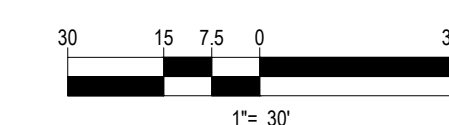
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**W.D. GOEBEL**

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 NEW HAMPSHIRE LICENSE No. 10280  
 MAINE LICENSE No. 9490  
 NEW YORK LICENSE No. 03104-1  
 FLORIDA LICENSE No. 65202

REFER TO GENERAL NOTES SHEET FOR NOTES

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



SHEET TITLE:

**PHASE 1 SITE PLAN C**

SHEET NUMBER:

**4**  
OF 24

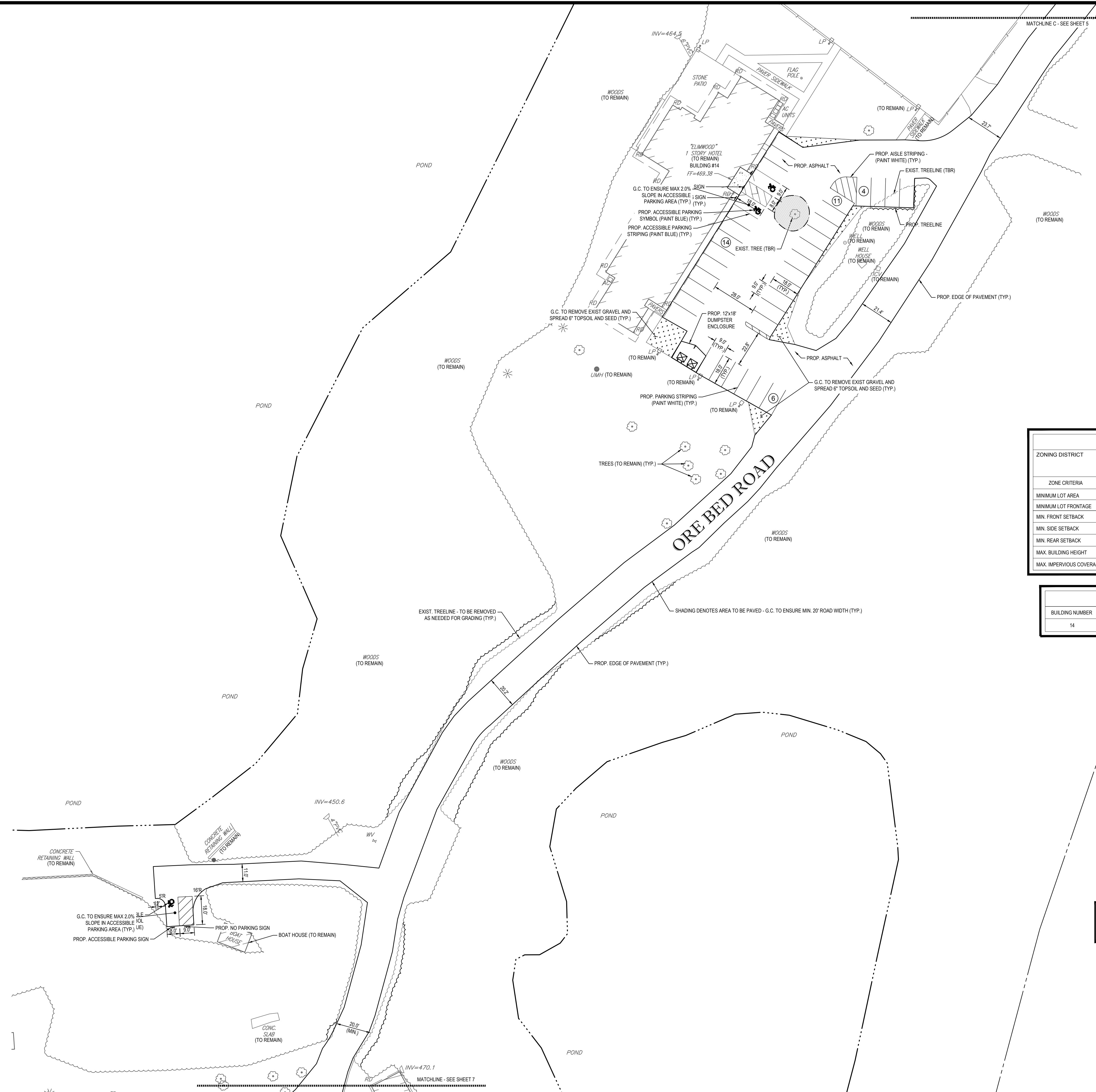
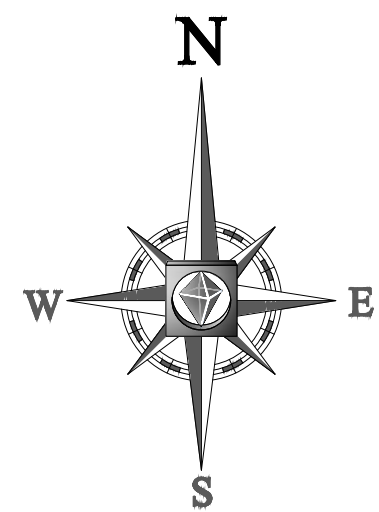
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ZONING ANALYSIS TABLE			
ZONING DISTRICT	RU RURAL DISTRICT		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	2 ACRES	210+ ACRES	UNCHANGED
MINIMUM LOT FRONTAGE	300'	1,300'+	UNCHANGED
MIN. FRONT SETBACK	60'	52.5'	UNCHANGED
MIN. SIDE SETBACK	30'	300'+	UNCHANGED
MIN. REAR SETBACK	50'	300'+	UNCHANGED
MAX. BUILDING HEIGHT	35'	14'	UNCHANGED
MAX. IMPERVIOUS COVERAGE	10%	3.6%	UNCHANGED

PARKING ANALYSIS TABLE				
BUILDING NUMBER	SQUARE FOOTAGE	USE	REQUIRED	PROVIDED
14	7,356 SF	ELMWOOD HOTEL-14 UNITS	36	35

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**PERMIT SET**

PROJECT No.: B190164  
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**SITE IMPROVEMENT PLANS FOR WORLD OLIVET ASSEMBLY**

LOCATION OF SITE  
 115 DOVER FURNACE ROAD  
 TOWN OF DOVER  
 DUTCHESS COUNTY  
 STATE OF NEW YORK

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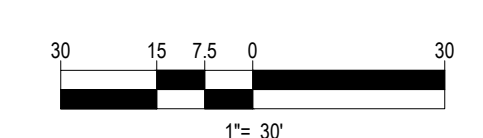
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 CONNECTICUT LICENSE No. 21854  
 NEW HAMPSHIRE LICENSE No. 10280  
 MAINE LICENSE No. 9490  
 NEW YORK LICENSE No. 051264-1  
 FLORIDA LICENSE No. 65202

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REFER TO GENERAL NOTES SHEET FOR NOTES

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



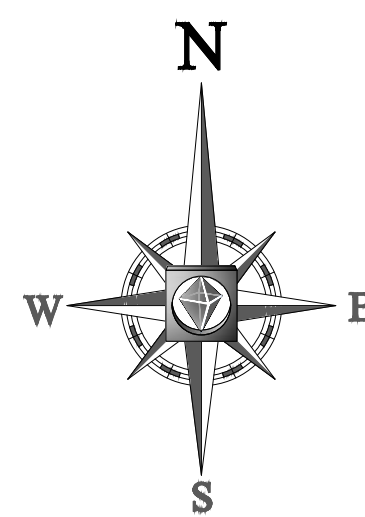
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**PHASE 1 SITE PLAN E**

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### BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING  
LAND SURVEYING DESIGN  
SUSTAINABLE DESIGN

PERMITTING SERVICES  
TRANSPORTATION SERVICES  
ENVIRONMENTAL SERVICES  
ARCHITECTURE

● BALTIMORE, MD	● CHESAPEAKE, VA	● CHARLOTTE, NC
● BALTIMORE, MD	● CHESAPEAKE, VA	● CHARLOTTE, NC
● BALTIMORE, MD	● CHESAPEAKE, VA	● CHARLOTTE, NC
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#### REVISIONS

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#### PERMIT SET

PROJECT No.: B190164  
DRAWN BY: JSH  
CHECKED BY: SRW  
DATE: 6/12/2019  
SCALE: AS NOTED  
CAD I.D.: B190164SS00(USE THIS)

#### SITE IMPROVEMENT PLANS FOR WORLD OLIVET ASSEMBLY

LOCATION OF SITE  
115 DOVER FURNACE ROAD  
TOWN OF DOVER  
DUTCHESS COUNTY  
STATE OF NEW YORK

#### ZONING ANALYSIS TABLE

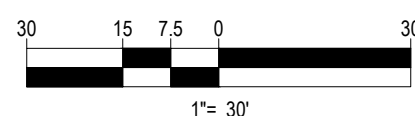
ZONING DISTRICT	RURAL DISTRICT	REQUIRED	EXISTING	PROPOSED
ZONE CRITERIA	RURAL DISTRICT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	2 ACRES	210+ ACRES	UNCHANGED	UNCHANGED
MINIMUM LOT FRONTAGE	300'	1,300'+	UNCHANGED	UNCHANGED
MIN. FRONT SETBACK	60'	300'+	UNCHANGED	UNCHANGED
MIN. SIDE SETBACK	30'	150'+	UNCHANGED	UNCHANGED
MIN. REAR SETBACK	50'	250'+	UNCHANGED	UNCHANGED
MAX. BUILDING HEIGHT	35'	30'	UNCHANGED	UNCHANGED
MAX. IMPERVIOUS COVERAGE	10%	3.6%	UNCHANGED	UNCHANGED

#### PARKING ANALYSIS TABLE

BUILDING NUMBER	SQ. FOOTAGE	USE	REQUIRED	PROVIDED
15	450 SF	OFFICE	2	5
16	1,188 SF	EQUIPMENT GARAGE	2	5
17	874 SF	OFFICE	2	5
18	5,733 SF	HAYDEN HALL - DINING	42	42
19	1,963 SF	PRESIDENTS OFFICE	2	25
28	1,166 SF	OFFICE	2	4

REFER TO GENERAL NOTES SHEET FOR NOTES

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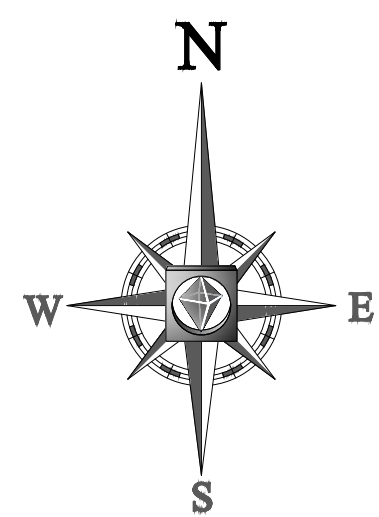
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**PHASE 1 SITE PLAN F**

SHEET NUMBER:  
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OF 24

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### SUMMARY OF DRAINAGE CALCULATIONS

**"C" BEFORE EXISTING SITE**

CONDITION	AREA (Acres)	%	CN
ASPHALT/BUILDING	20.6	9.6%	98
WOODS FAIR (HSG A)	119.2	55.8%	36
GRASS FAIR (HSG A)	15.7	7.4%	84
WOODS FAIR (HSG D)	58.1	27.2%	79
<b>TOTAL</b>	<b>213.6</b>	<b>100.00%</b>	<b>WEIGHTED CN =57</b>

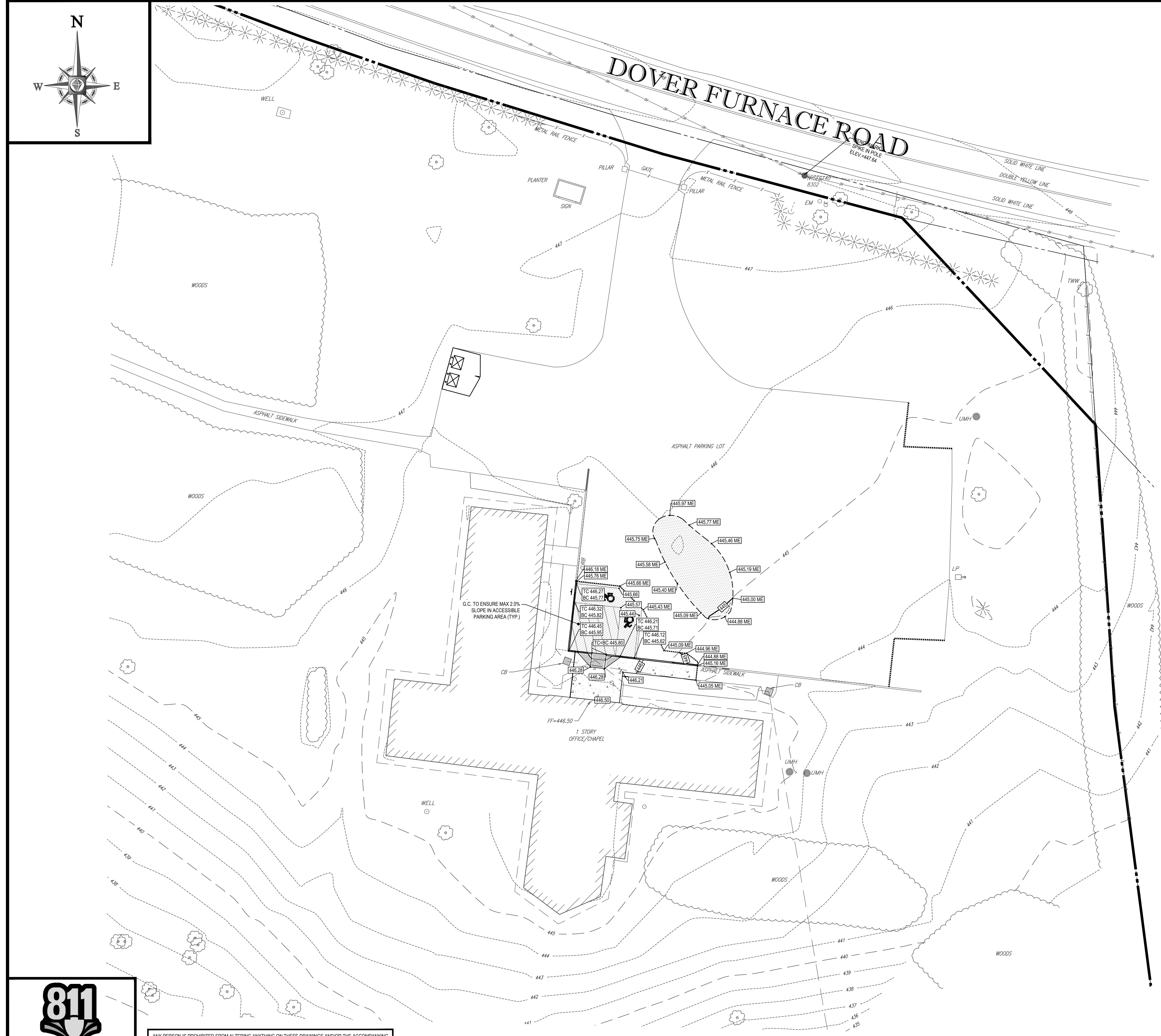
**"C" AFTER PROPOSED SITE**

CONDITION	AREA (Acres)	%	CN
ASPHALT/BUILDING	20.6	9.6%	98
WOODS FAIR (HSG A)	118.7	55.6%	36
GRASS FAIR (HSG A)	16.2	7.6%	84
WOODS FAIR (HSG D)	58.1	27.2%	79
<b>TOTAL</b>	<b>213.6</b>	<b>100.00%</b>	<b>WEIGHTED CN =57</b>

**DETERMINE OFF-SITE RUNOFF - TOTAL SITE:**

	1 YR	10 YR	100 YR
"Q" EXISTING	2.39	28.53	121.13
"Q" PROP	2.39	28.53	121.13
<b>NET INCREASE (DECREASE IN RUNOFF)</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

NOTE: NO INCREASE IN RUNOFF



### REVISIONS

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**PERMIT SET**

PROJECT No.: B190164  
 DRAWN BY: JSH  
 CHECKED BY: SRW  
 DATE: 6/12/2019  
 SCALE: AS NOTED  
 CAD I.D.: B190164SS00(USE THIS)

**SITE IMPROVEMENT PLANS FOR WORLD OLIVET ASSEMBLY**

LOCATION OF SITE  
 115 DOVER FURNACE ROAD  
 TOWN OF DOVER  
 DUTCHESS COUNTY  
 STATE OF NEW YORK

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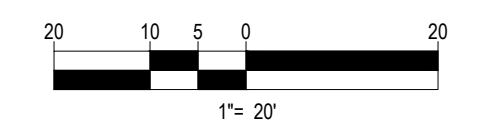
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SHEET TITLE:  
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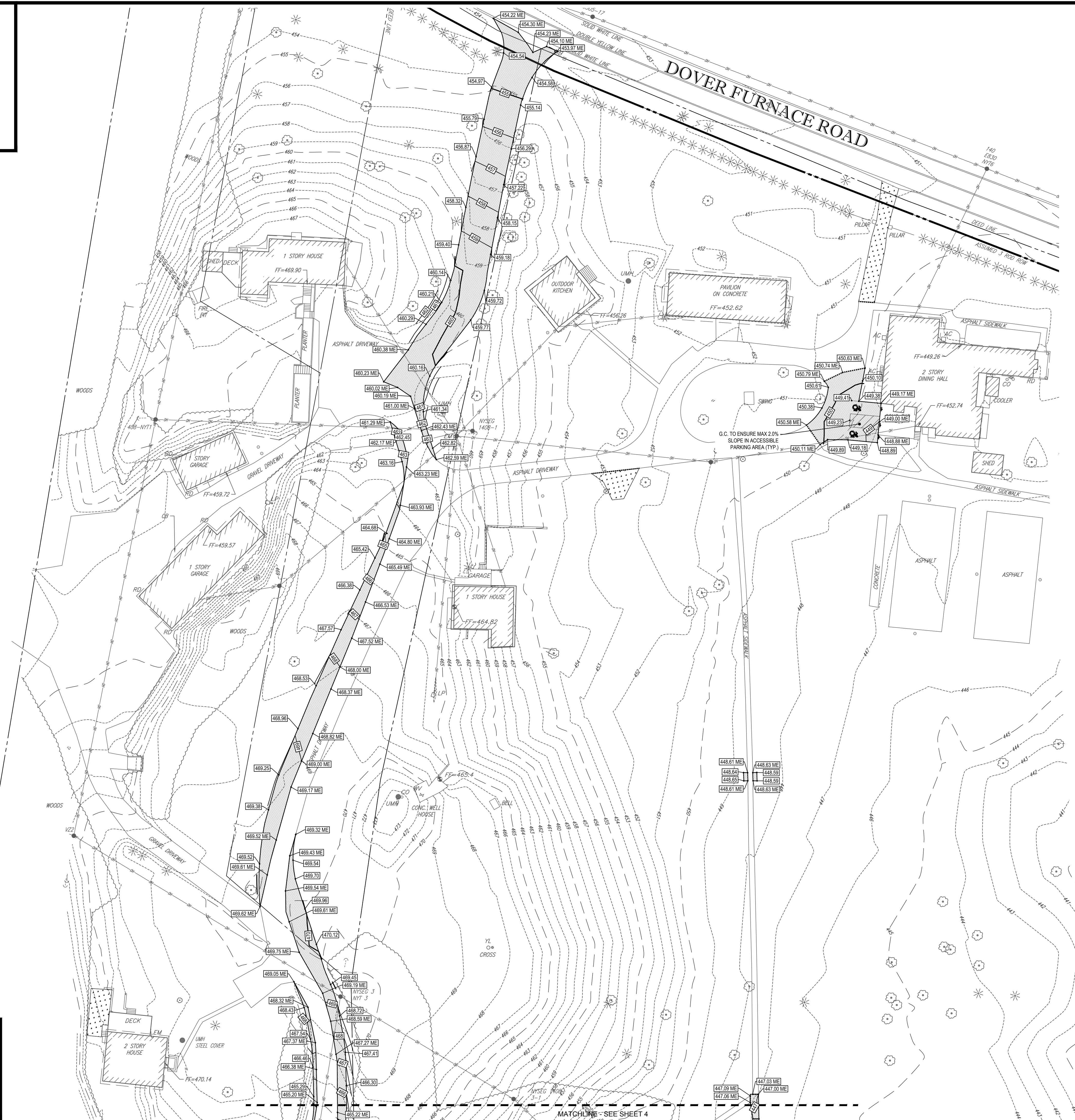
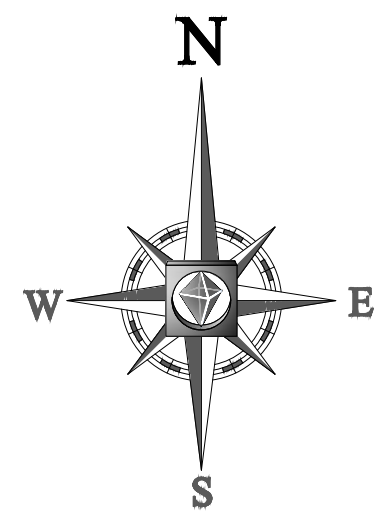
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**SITE IMPROVEMENT PLANS FOR WORLD OLIVET ASSEMBLY**

LOCATION OF SITE  
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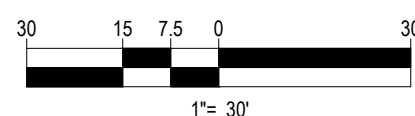
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**PHASE 1 GRADING PLAN B**

SHEET NUMBER:  
**9**  
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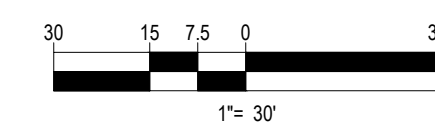
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DATE:	8/12/2019
SCALE:	AS NOTED
CAD I.D.:	B190164SS00(USE THIS)

**SITE IMPROVEMENT PLANS**  
 FOR  
**WORLD OLIVET ASSEMBLY**

LOCATION OF SITE  
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 TOWN OF DOVER  
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SHEET TITLE:  
**PHASE 1 GRADING PLAN C**

SHEET NUMBER:  
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 OF 24

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PROJECT: **SITE IMPROVEMENT PLANS**  
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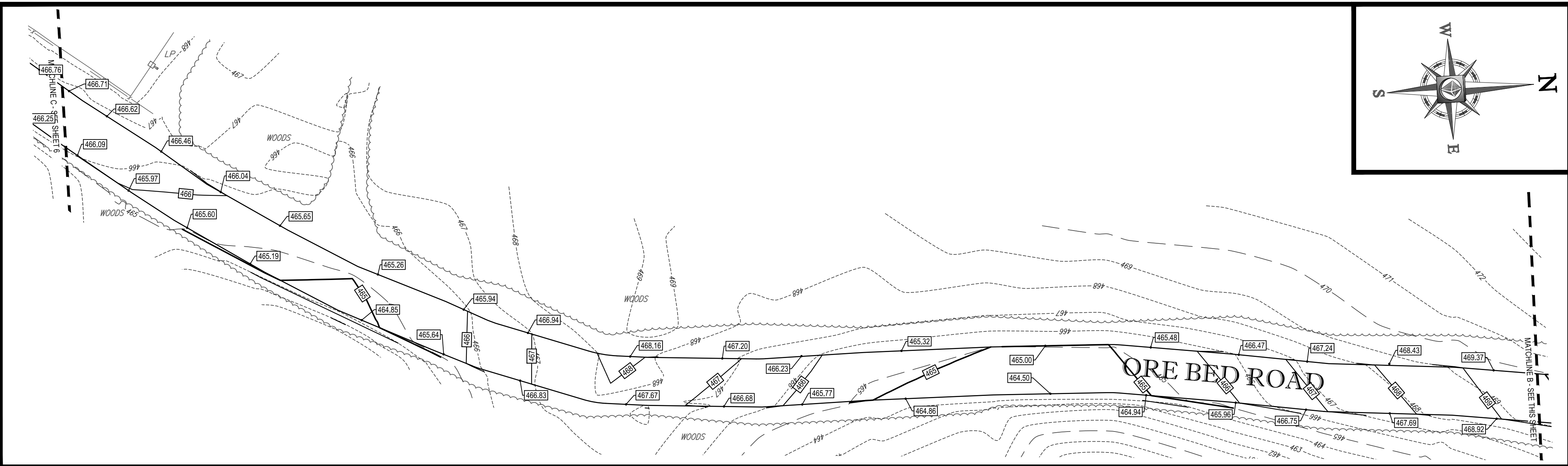
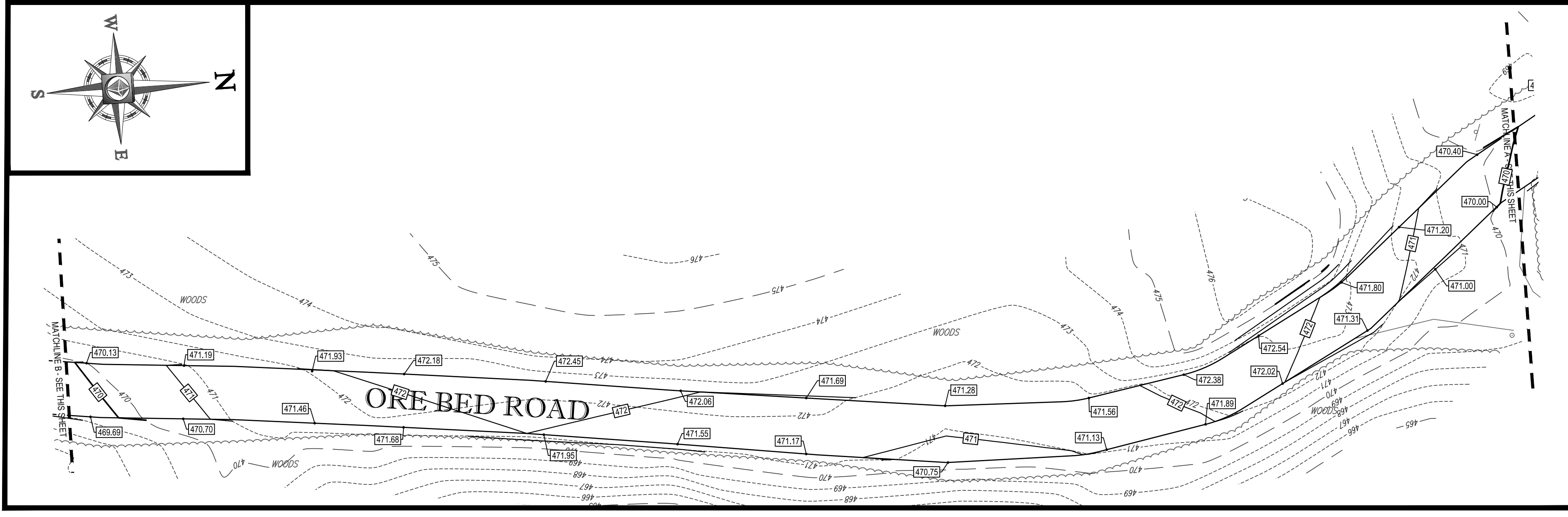
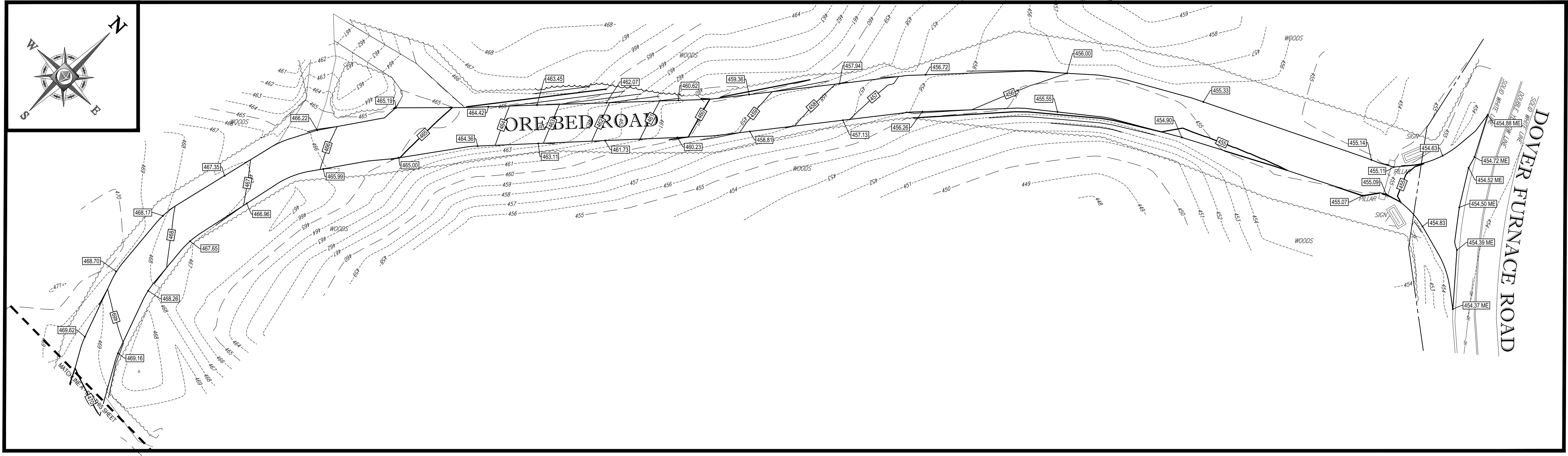
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SHEET TITLE:  
**PHASE 1 GRADING PLAN D**

SHEET NUMBER:  
**11**  
 OF 24

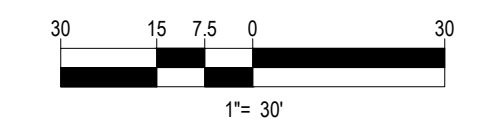
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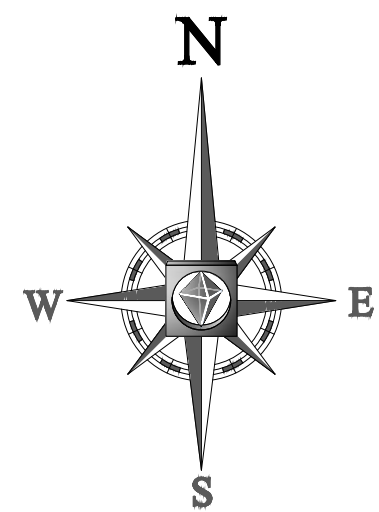
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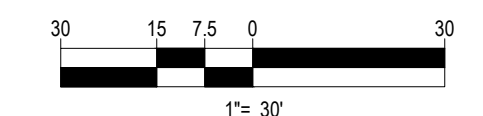
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 CAD I.D.: B190164SS00(USE THIS)

SITE IMPROVEMENT PLANS FOR WORLD OLIVET ASSEMBLY

LOCATION OF SITE  
 115 DOVER FURNACE ROAD  
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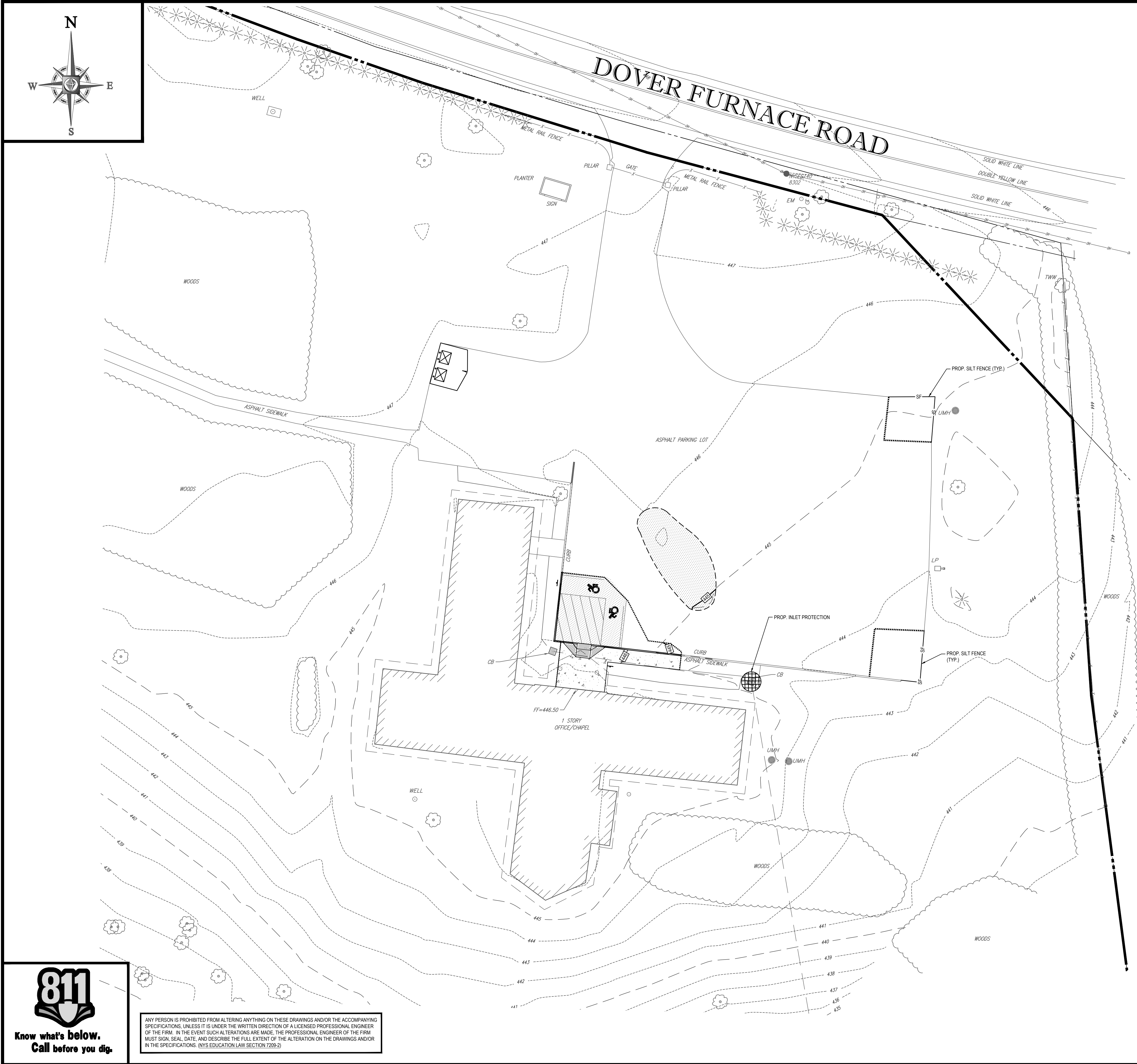
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SHEET TITLE:  
**PHASE 1 GRADING PLAN E**

SHEET NUMBER:  
**12**  
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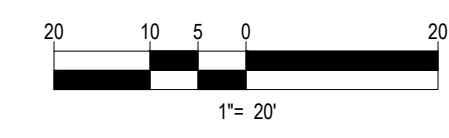
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DATE: 8/12/2019  
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### SITE IMPROVEMENT PLANS FOR WORLD OLIVET ASSEMBLY

LOCATION OF SITE  
115 DOVER FURNACE ROAD  
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STATE OF NEW YORK

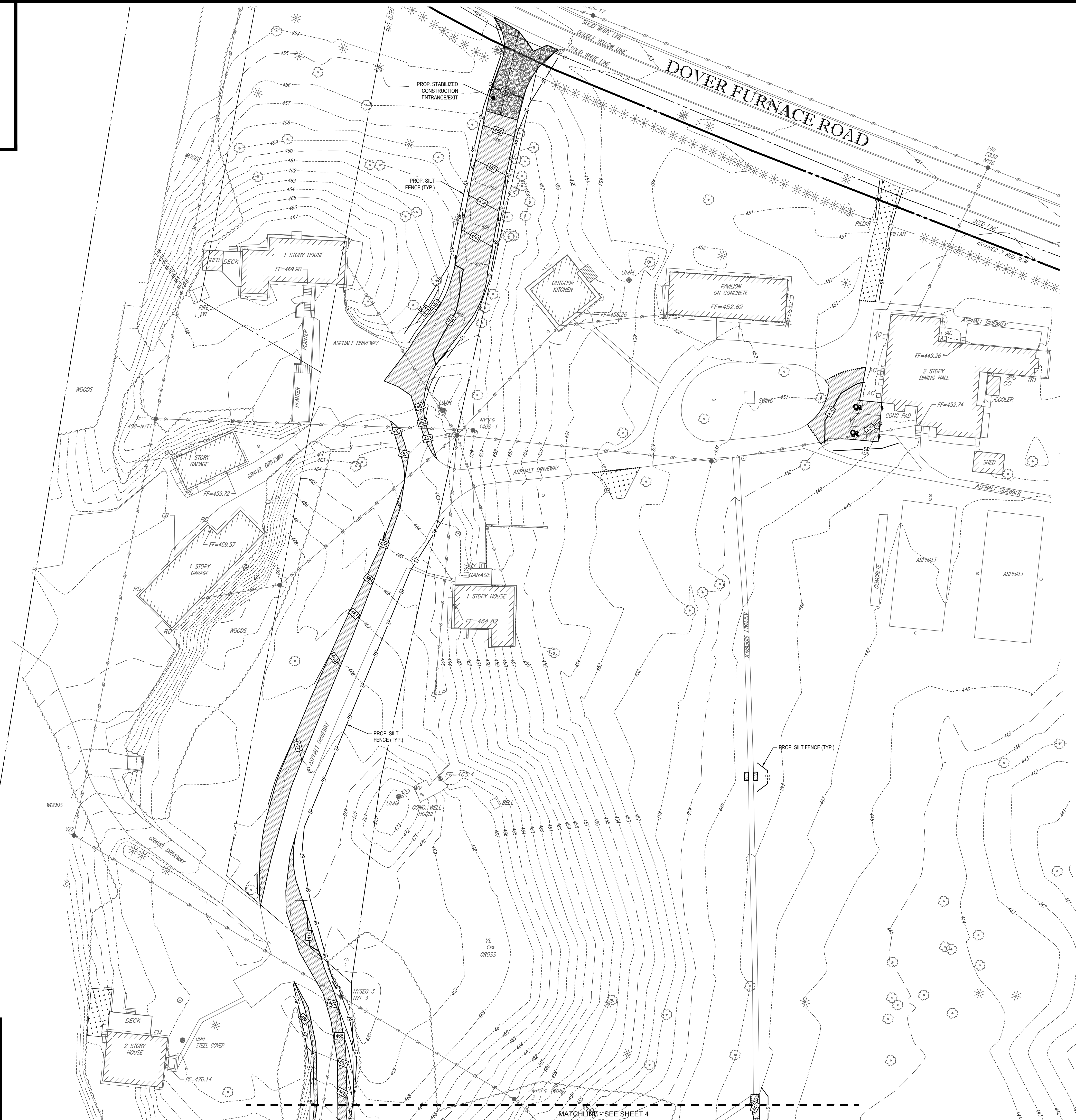
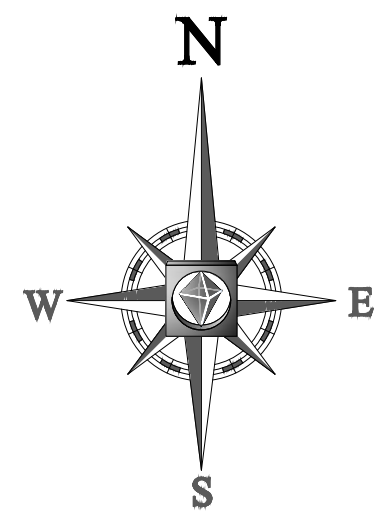
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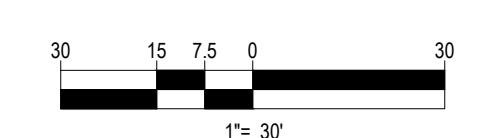
SHEET TITLE: PHASE 1 EROSION & SEDIMENT CONTROL PLAN A  
SHEET NUMBER: 14 OF 24  
REV 0



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REFER TO GENERAL NOTES SHEET FOR NOTES

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MATCHLINE - SEE SHEET 4

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PERMIT SET

PROJECT No.: B190164  
 DRAWN BY: JSH  
 CHECKED BY: SRW  
 DATE: 8/12/2019  
 SCALE: AS NOTED  
 CAD I.D.: B190164SS00(USE THIS)

PROJECT: **SITE IMPROVEMENT PLANS FOR WORLD OLIVET ASSEMBLY**

LOCATION OF SITE  
 115 DOVER FURNACE ROAD  
 TOWN OF DOVER  
 DUTCHESS COUNTY  
 STATE OF NEW YORK

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SHEET TITLE: **PHASE 1 EROSION & SEDIMENT CONTROL PLAN B**

SHEET NUMBER: **15 OF 24**

REV 0

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PROJECT No.: B190164  
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 DATE: 6/12/2019  
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 CAD I.D.: B190164SS00(USE THIS)

PROJECT: **SITE IMPROVEMENT PLANS FOR WORLD OLIVET ASSEMBLY**

LOCATION OF SITE  
 115 DOVER FURNACE ROAD  
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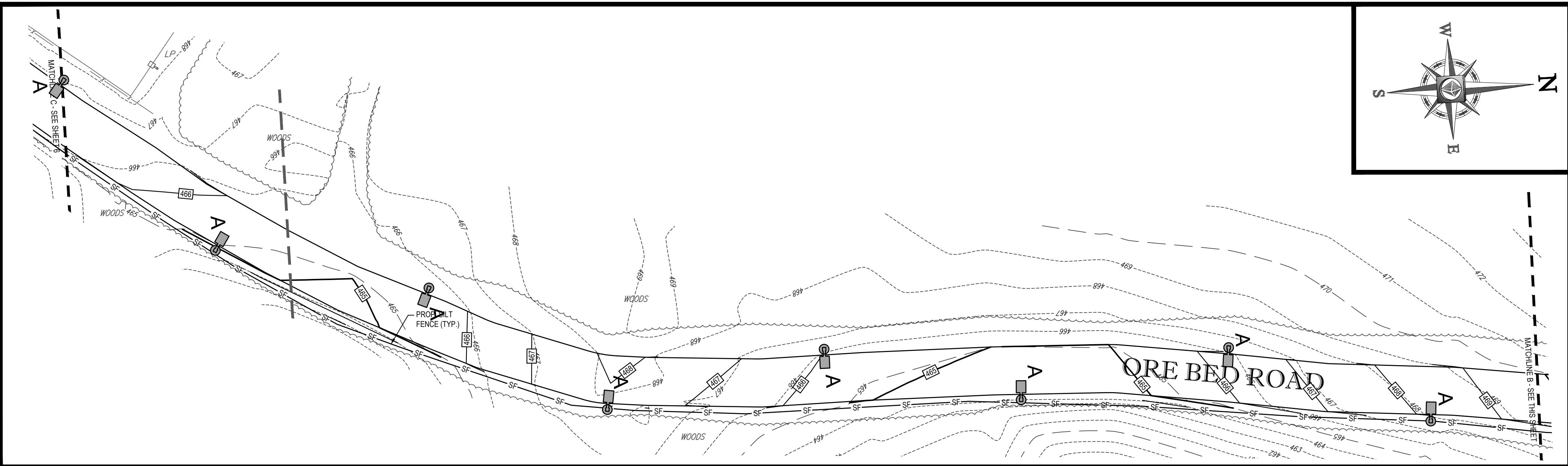
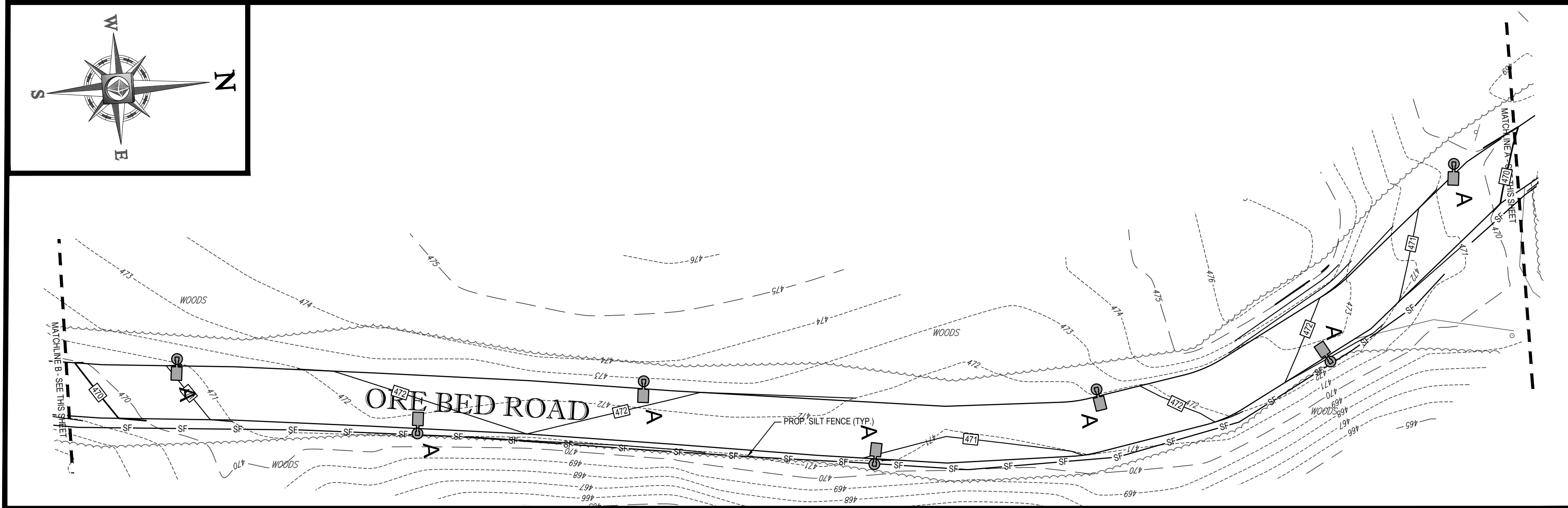
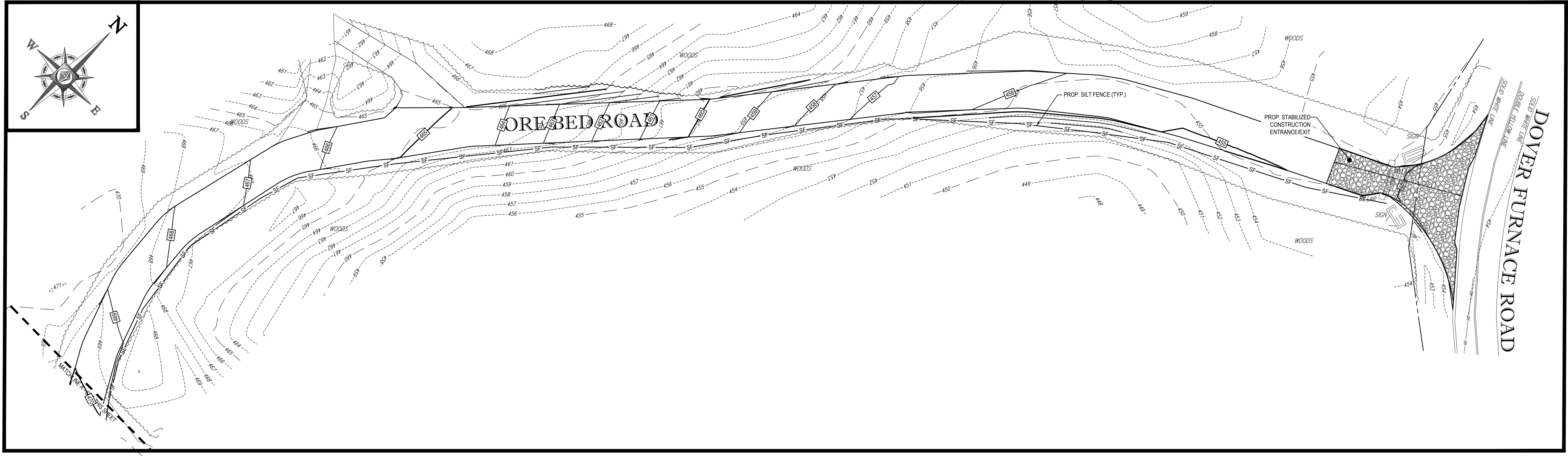
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SHEET TITLE: **PHASE 1 EROSION & SEDIMENT CONTROL PLAN D**

SHEET NUMBER: **17**  
 OF 24

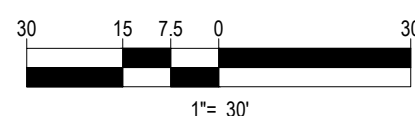
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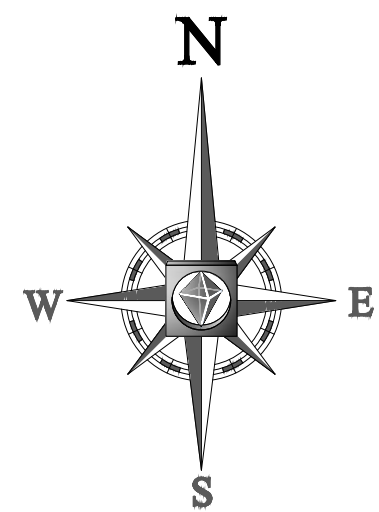
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REFER TO GENERAL NOTES SHEET FOR NOTES

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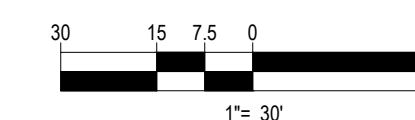


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PROJECT No.: B190164  
DRAWN BY: JSH  
CHECKED BY: SRW  
DATE: 6/12/2019  
SCALE: AS NOTED  
CAD I.D.: B190164SS00(USE THIS)

PROJECT: **SITE IMPROVEMENT PLANS FOR WORLD OLIVET ASSEMBLY**

LOCATION OF SITE  
115 DOVER FURNACE ROAD  
TOWN OF DOVER  
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SHEET TITLE: **PHASE 1 EROSION & SEDIMENT CONTROL PLAN E**

SHEET NUMBER: **18**  
OF 24

REV 0



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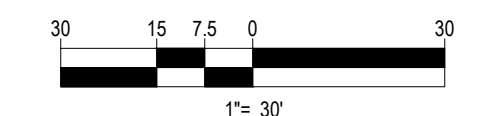


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REFER TO GENERAL NOTES  
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THIS PLAN TO BE UTILIZED FOR SITE  
SOIL AND EROSION CONTROL  
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PROJECT No.: B190164  
DRAWN BY: JSH  
CHECKED BY: SRW  
DATE: 8/12/2019  
SCALE: AS NOTED  
CAD I.D.: B190164SS00(USE THIS)

PROJECT: SITE  
IMPROVEMENT PLANS  
FOR  
WORLD OLIVET  
ASSEMBLY

LOCATION OF SITE  
115 DOVER FURNACE ROAD  
TOWN OF DOVER  
DUTCHESS COUNTY  
STATE OF NEW YORK

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SHEET TITLE:  
PHASE 1  
EROSION &  
SEDIMENT  
CONTROL  
PLAN F

SHEET NUMBER:  
**19**  
OF 24

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# EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT. (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #4.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT SEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
  - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
  - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
  - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOO MAY BE SUBSTITUTED FOR SEED.
  - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED WITH STRAW BALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

## MULCH

LOCATION PROTECT AREA	MULCH STRAW	RATE (1000 SF)
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

\*A HYDRO APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

**MULCH ANCHORING**  
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD.BLOCK), MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACKY (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK, NETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

# EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR  $\frac{9}{16}$ " AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDING, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 15, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOADED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDING AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER.
- MULCHING REQUIREMENTS:
  - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
  - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
  - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

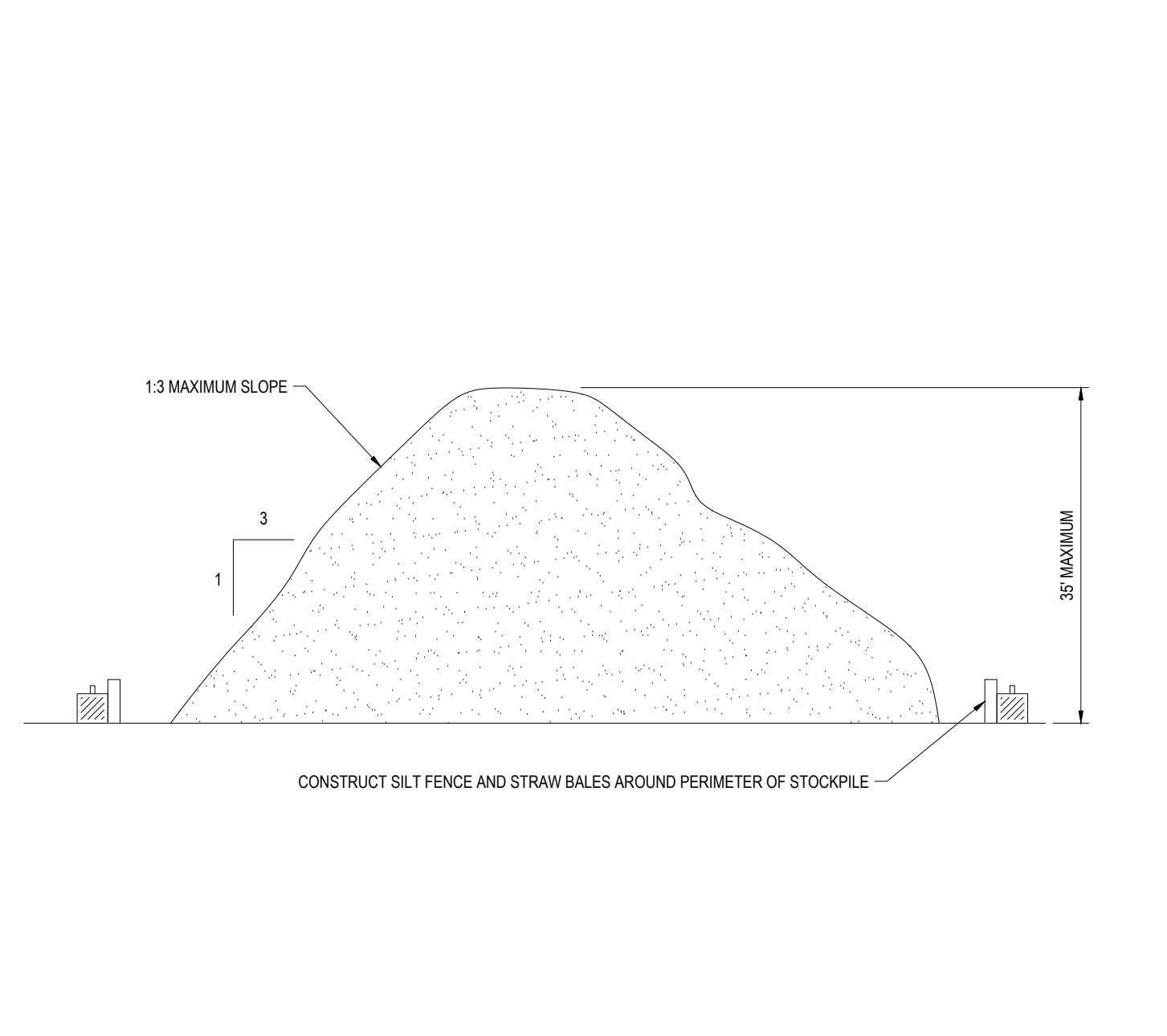
# CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
- INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
- DEMOLITION OF EXISTING SITE STRUCTURES
- DEMOLITION OF EXISTING SITE PAVEMENT AND ADJUTMENTS
- CLEARING AND GRUBBING
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF BUILDINGS
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 80% STABILIZATION OR GREATER.

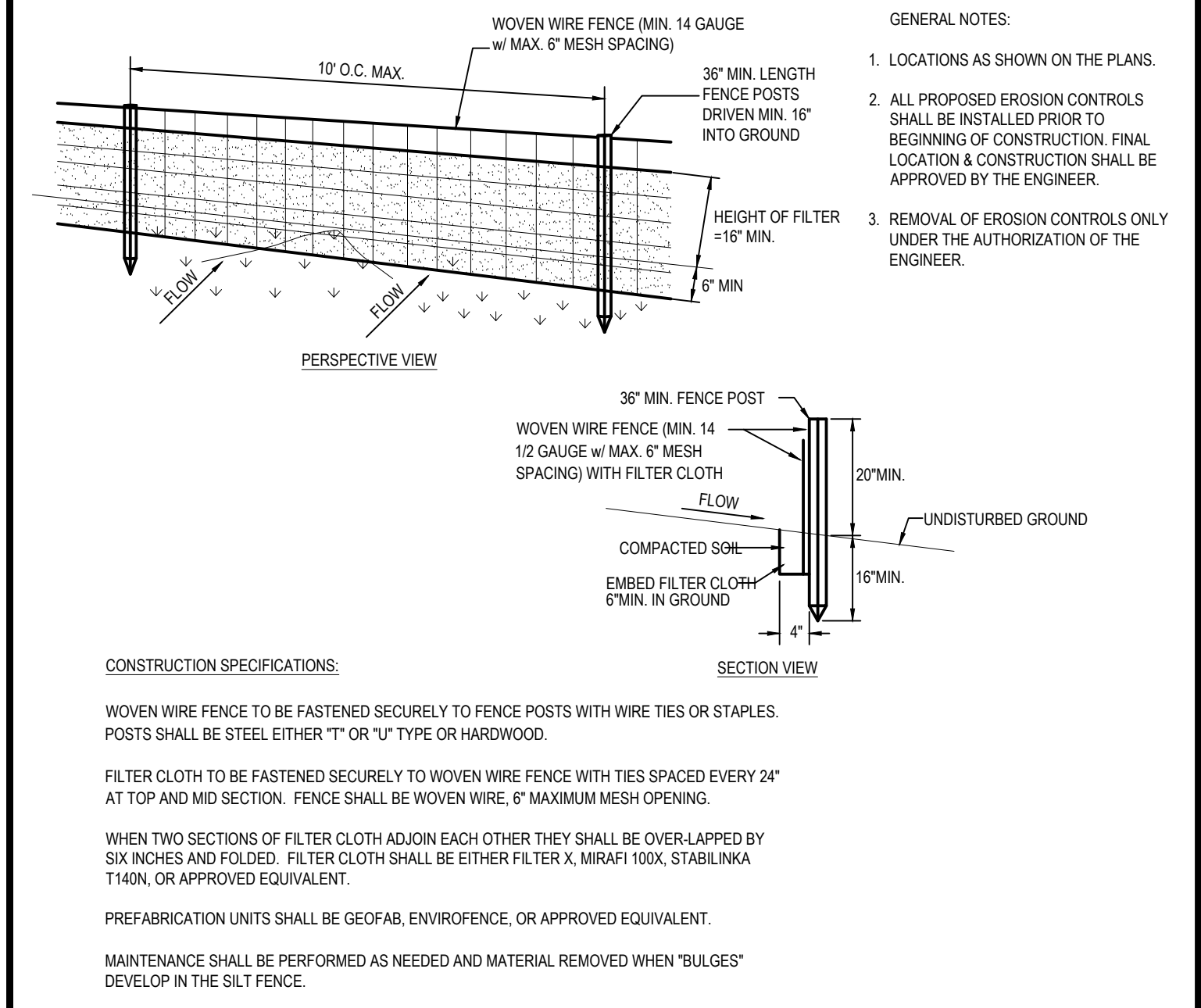
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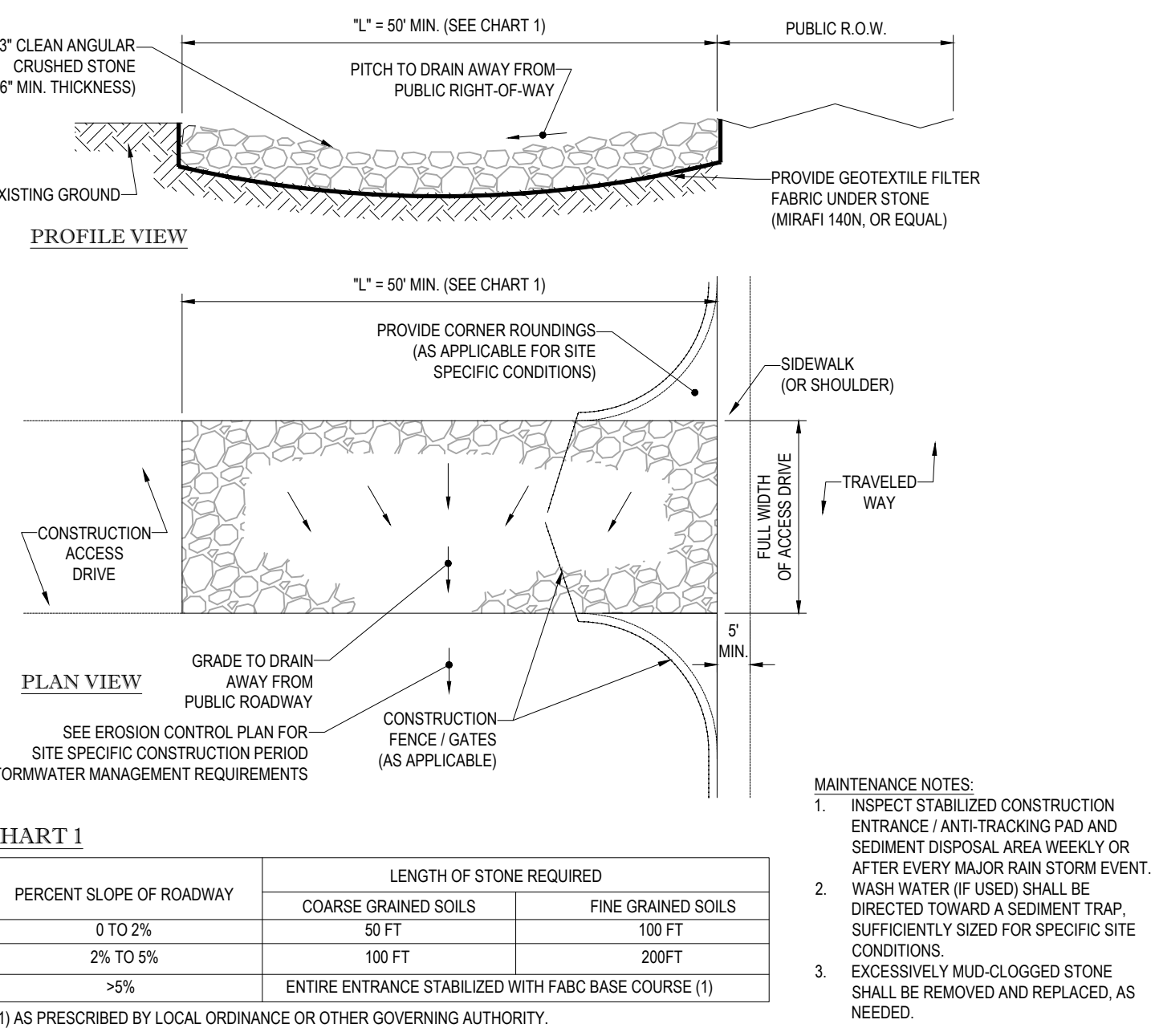
TEMPORARY STOCKPILE DETAIL

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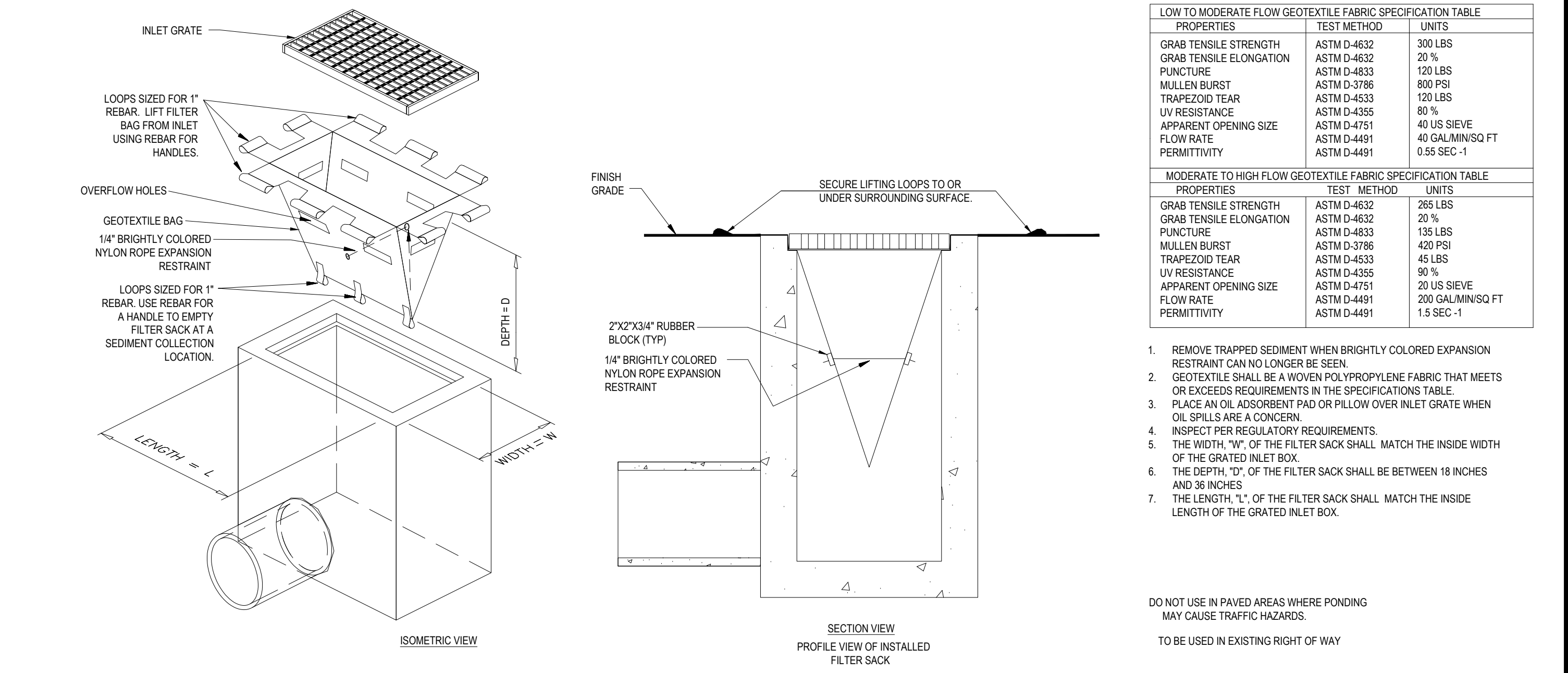
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STABILIZED CONSTRUCTION EXIT

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FILTER SACKS (GRADED INLETS)

N.T.S.

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PERMIT SET  
 PROJECT No.: B190164  
 DRAWN BY: JSH  
 CHECKED BY: SRW  
 DATE: 6/12/2019  
 SCALE: AS NOTED  
 CAD I.D.: B190164SS00(USE THIS)

SITE IMPROVEMENT PLANS FOR WORLD OLIVET ASSEMBLY  
 LOCATION OF SITE  
 115 DOVER FURNACE ROAD  
 TOWN OF DOVER  
 DUTCHESS COUNTY  
 STATE OF NEW YORK

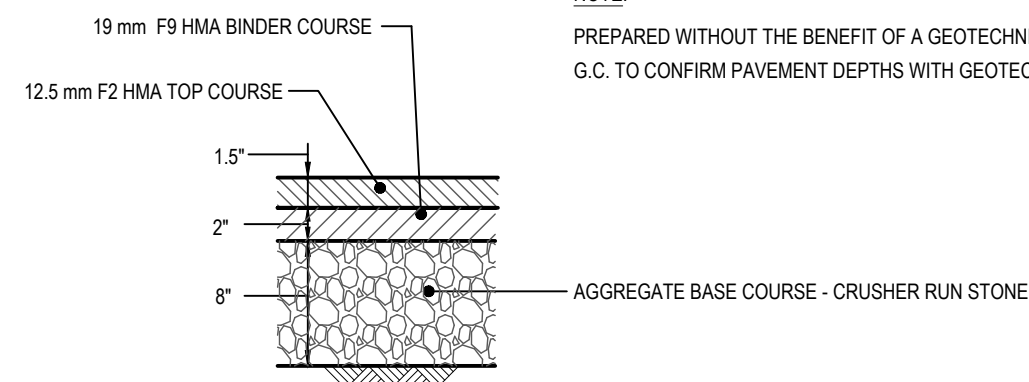
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 FLORIDA LICENSE NO. 65202

SHEET TITLE:  
**SOIL EROSION CONTROL NOTES & DETAILS SHEET**  
 SHEET NUMBER:  
**20**  
 OF 24  
 REV 0

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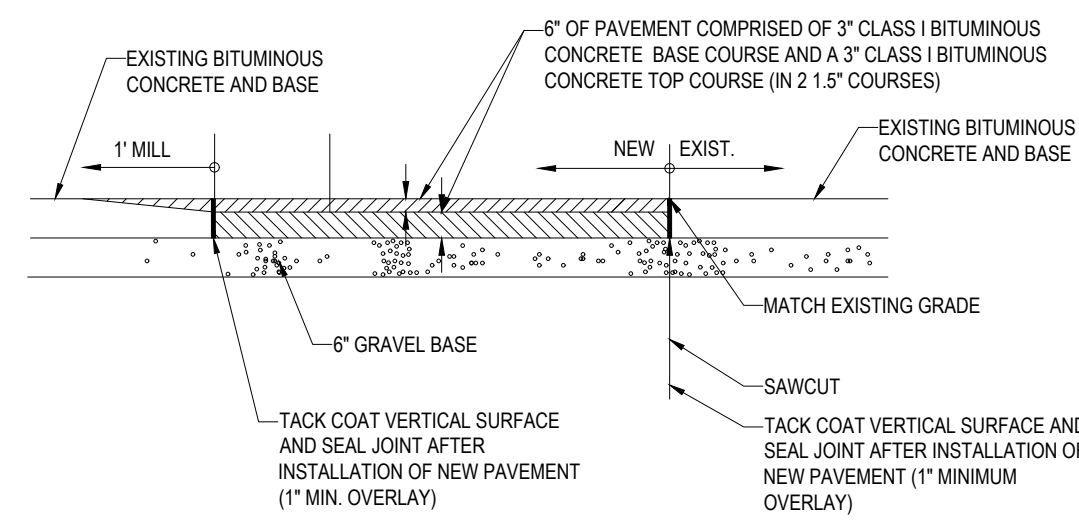
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 Know what's below.  
 Call before you dig.



NOTE:  
PREPARED WITHOUT THE BENEFIT OF A GEOTECHNICAL REPORT,  
G.C. TO CONFIRM PAVEMENT DEPTHS WITH GEOTECHNICAL ENGINEER.

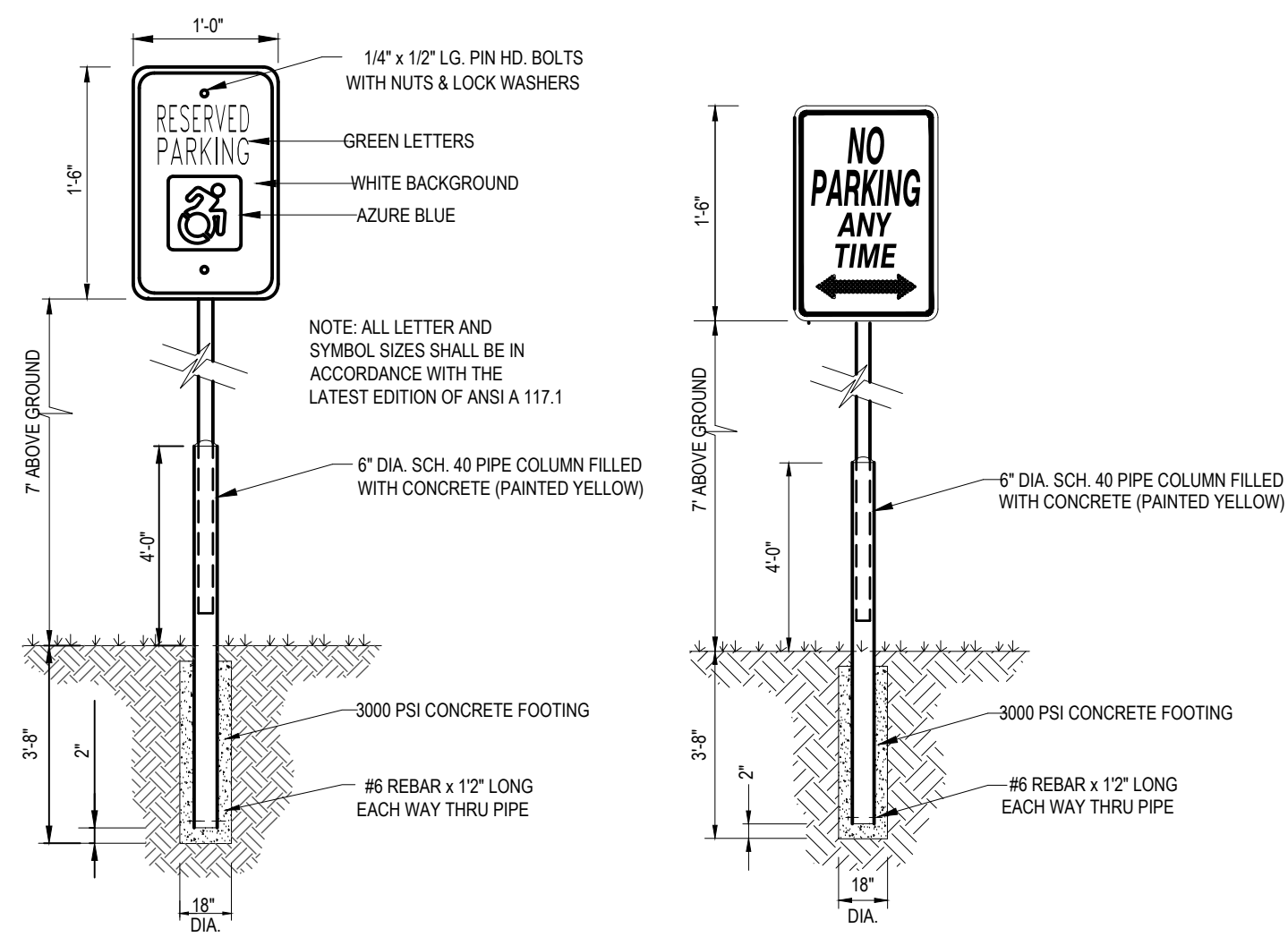
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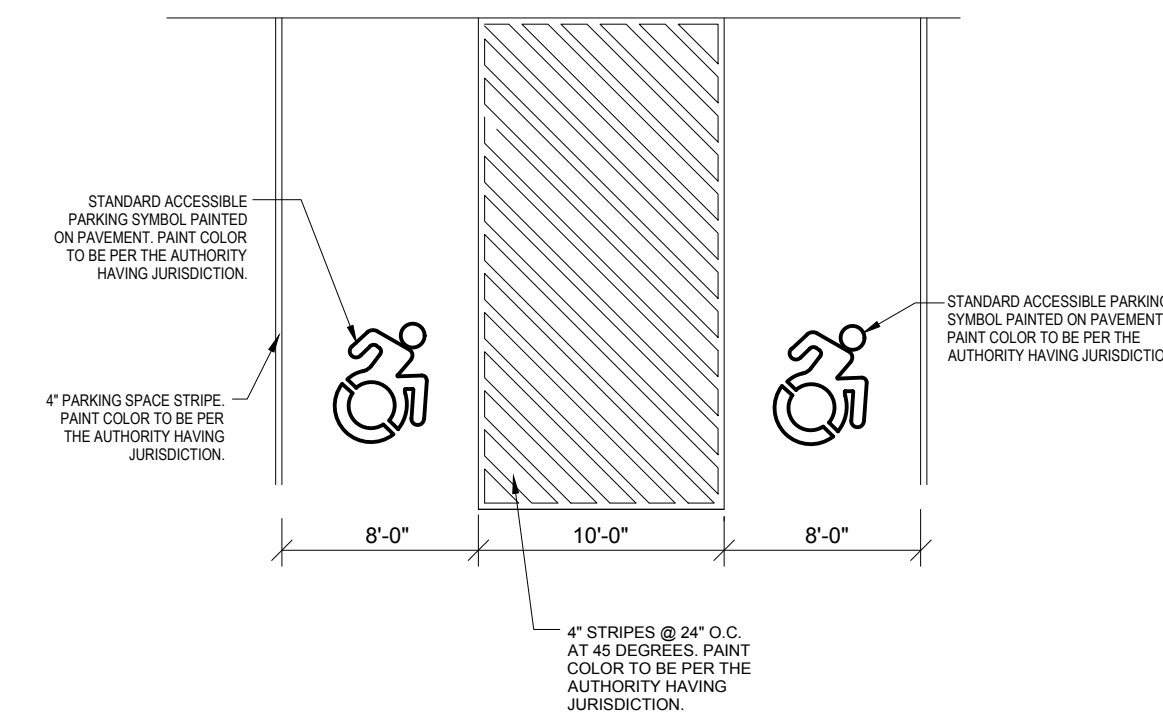
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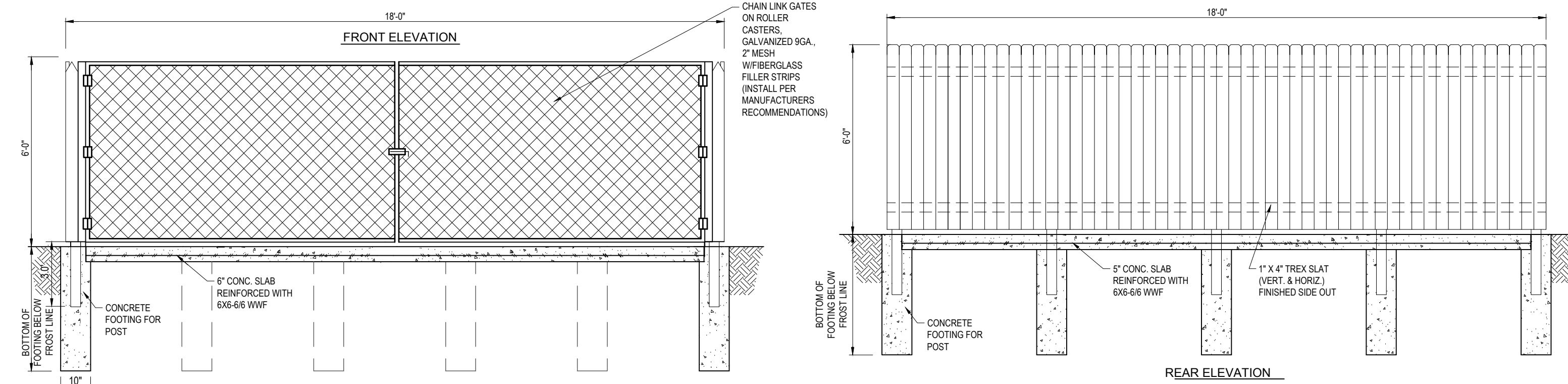
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ACCESSIBLE PARKING DETAIL

N.T.S.



12'x 18' STOCKADE FENCE TRASH ENCLOSURE

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SITE IMPROVEMENT PLANS FOR WORLD OLIVET ASSEMBLY

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115 DOVER FURNACE ROAD  
TOWN OF DOVER  
DUTCHESS COUNTY  
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SHEET TITLE:

CONSTRUCTION DETAIL SHEET

SHEET NUMBER:

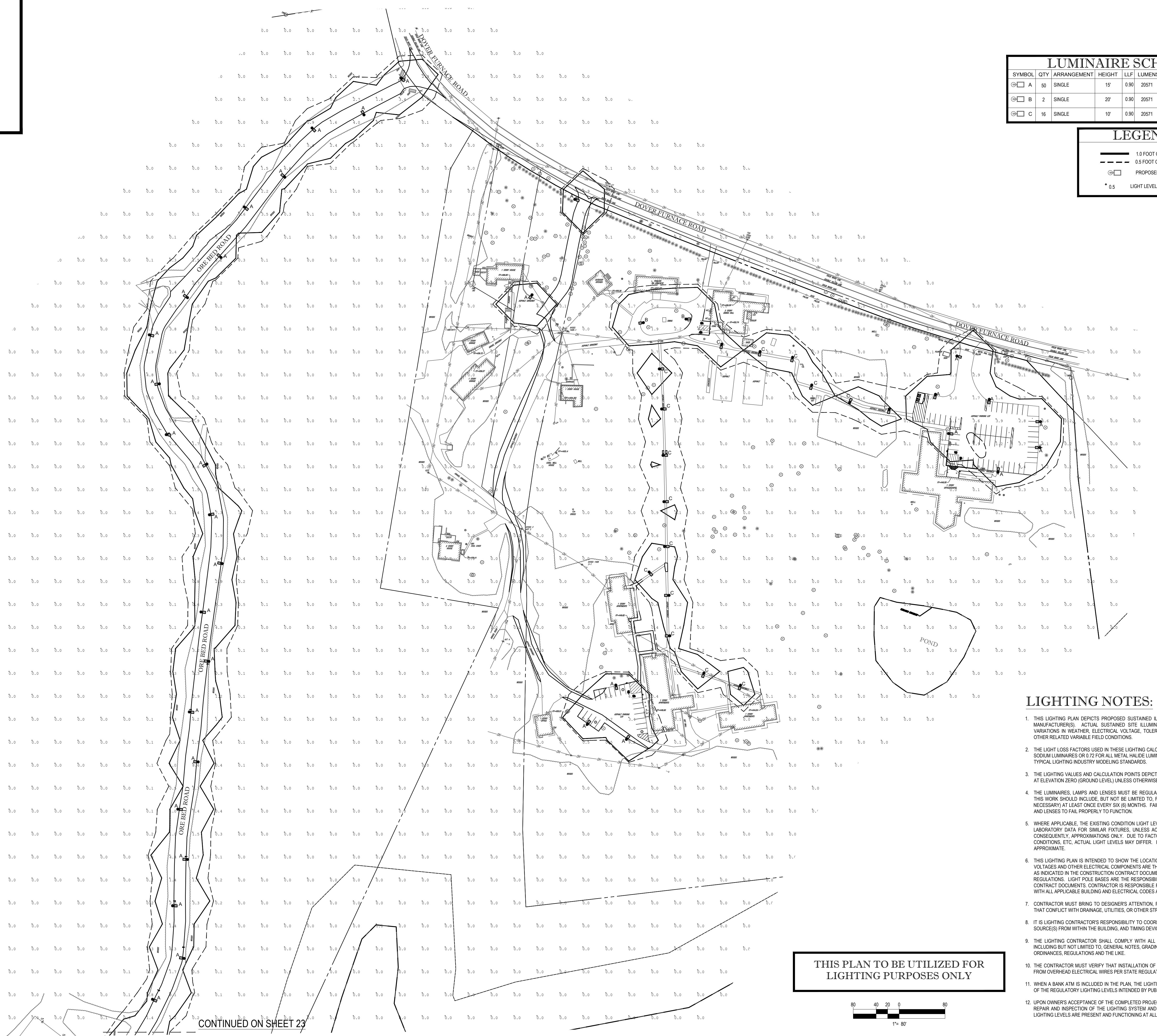
21 OF 24

REV 0



LUMINAIRE SCHEDULE						
SYMBOL	QTY	ARRANGEMENT	HEIGHT	LLF	LUMENS	DESCRIPTION
⊙	50	SINGLE	15'	0.90	20571	BEACON PRODUCTS VP-L-80NB-1809K-4T
⊙	2	SINGLE	20'	0.90	20571	BEACON PRODUCTS VP-L-80NB-1809K-4T
⊙	16	SINGLE	10'	0.90	20571	BEACON PRODUCTS VP-S-3BL-65-3K-7-SW

LEGEND	
—	1.0 FOOT CANDLE LINE
- - -	0.5 FOOT CANDLE LINE
⊙	PROPOSED LIGHT FIXTURE
* 0.5	LIGHT LEVEL IN FOOT CANDLES



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**SITE IMPROVEMENT PLANS FOR WORLD OLIVET ASSEMBLY**

LOCATION OF SITE  
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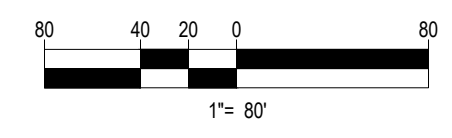
SHEET TITLE:  
**PHASE 1 LIGHTING PLAN A**

SHEET NUMBER:  
**22**  
 OF 24

REV 0

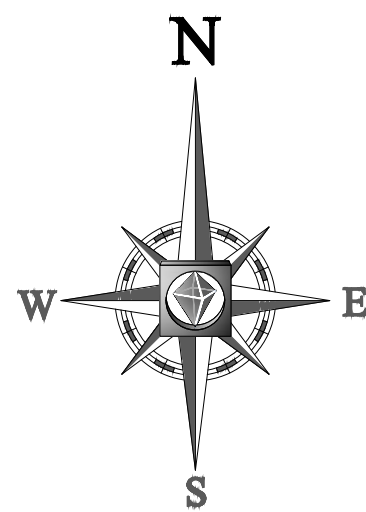
- LIGHTING NOTES:**
- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURERS. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
  - THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
  - THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.
  - THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
  - WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE CONSEQUENTLY APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC. ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
  - THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
  - CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
  - IT IS LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
  - THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
  - THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
  - WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOHLER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
  - UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

**THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY**

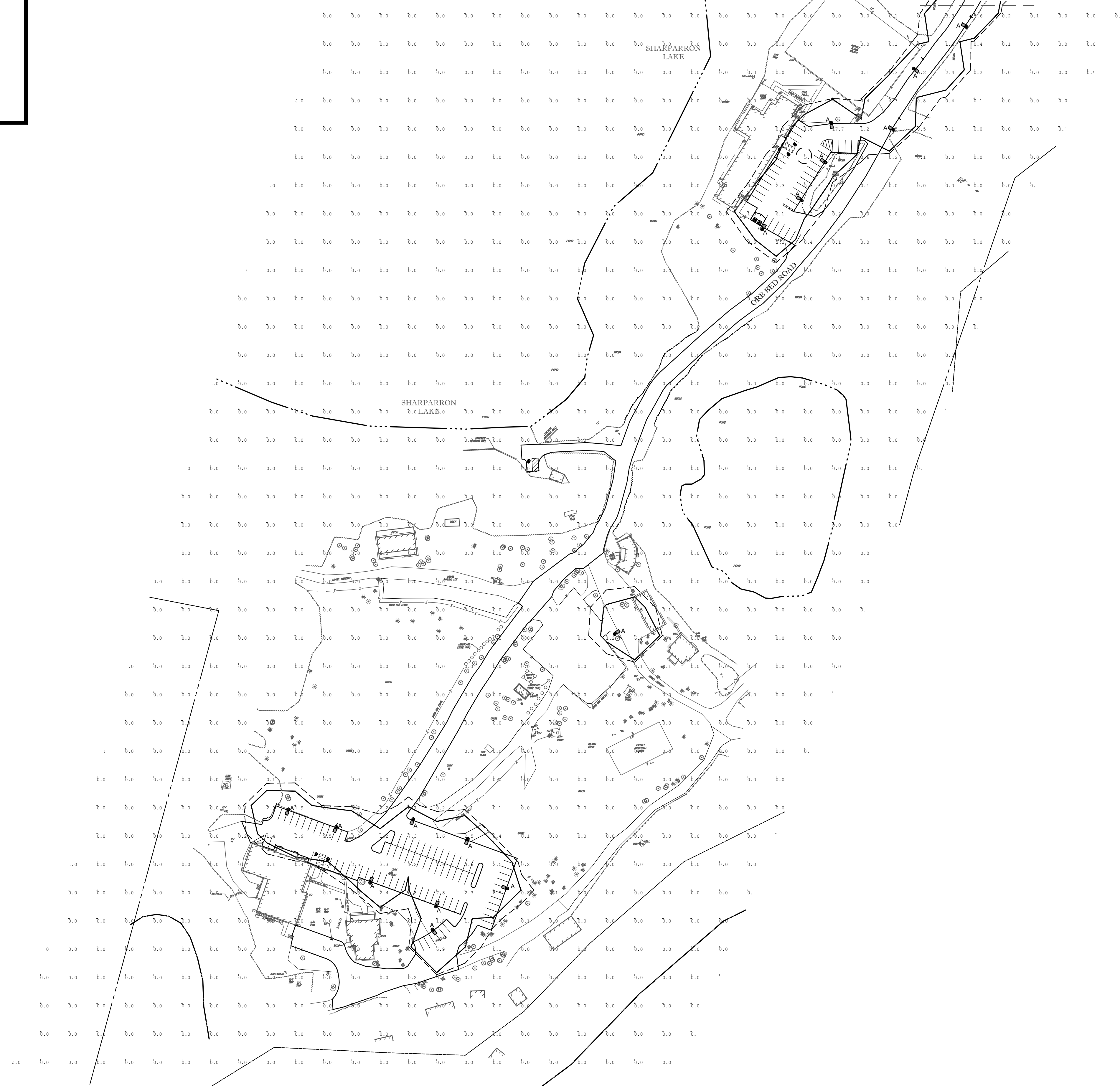


CONTINUED ON SHEET 23

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CONTINUED ON SHEET 22



**VIPER S+L SERIES**

Job	Type	Approvals
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**LUMINAIRE AND POLE SPECIFICATIONS**

**Intended Use:** The Beacon Viper luminaire is available in two sizes with a wide choice of different LED wattage configurations and optical distributions designed to replace HID lighting up to 1000W MH or HPS. Luminaires are suitable for wet locations.

**Construction:** One piece optical cartridge system consisting of an LED engine, LED lamps, optics, gasket and stainless steel base.

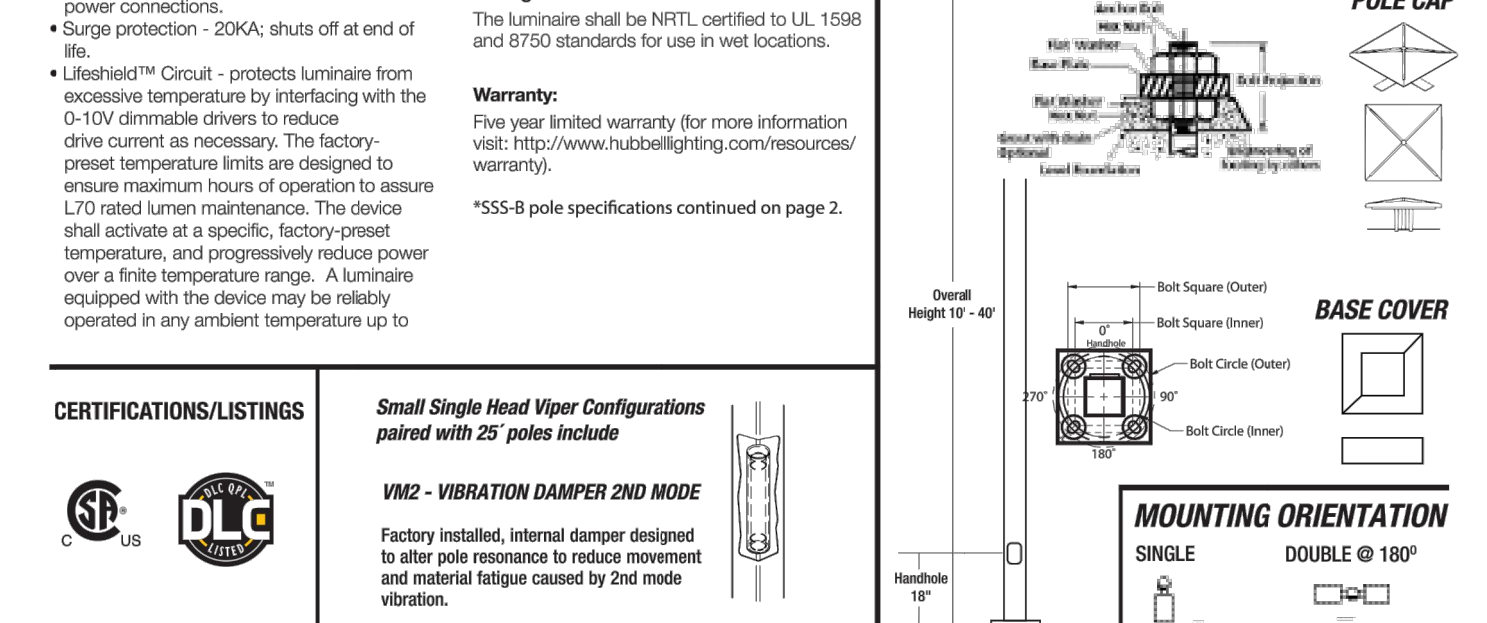
**LED/Optics:** LED driver accepts 100V through 277V, 50 Hz to 60 Hz (5/6).

**Power Factor:** Is .92 at full load.

**Electrical:** Fixture electrical compartment shall contain all LED driver components and shall be provided with a push-button terminal block for AC power connections.

**Surge Protection:** -20kA; shut off at end of life.

**UL/cUL® Circuit:** protects luminaire from excessive temperature by interlocking with the 0-10V dimmable drivers to reduce drive current as necessary. The factory-programmed temperature limits are designed to ensure maximum hours of operation to assure L70 rated lumen maintenance. The device shall activate at a specific, factory-gross temperature, and progressively reduce power over a finite temperature range. A luminaire equipped with the device may be reliably operated in any ambient temperature up to 50°C (113°F). The thermal circuit will allow higher maximum wattages than would be permissible on an unregulated luminaire (if some variation in light output is permissible), without risk of premature LED failure or lumen depreciation. Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fall off", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.). The device will effectively control the solder point temperature as needed; otherwise it will allow the other control device(s) to function unimpeded.



**CERTIFICATIONS/LISTINGS:** Small Single Head Viper Configurations paired with 25' poles include VM2 - VIBRATION DAMPER 2ND MODE. Factory installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

**BEACON HUBBELL LIGHTING**

**SPECIFICATIONS continued**

**SSS-B POLE APPLICATIONS** Lighting installations for side mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location.

**CONSTRUCTION** SHAF: One-piece straight steel with square cross section, flat sides and minimum 0.238" radius on all corners; Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall; Steel base plate with axial bolt circle slots welded flush to pole shaft having minimum yield of 36,000 psi (ASTM A36)

**BASE COVER:** Two-piece square aluminum base cover included standard

**POLE CAP:** Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available

**HAND HOLE:** Rectangular 305 steel hand hole frame (2.38" x 4.38" opening). Mounting provisions for grounding lugs located behind gasketed cover

**ANCHOR BOLTS:** Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling

**FINISH** Dark Bronze (textured) TGIC thermoset polyester powder coat paint finish with nominal 3.0 mil thickness  
Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method  
Decorative finish coat available in seven standard colors; Custom colors available; RAL number preferable;  
Internal protective coating available

**ORDERING INFORMATION**

Ordering Logic - All Configurations Dark Bronze Finish (textured)

PRODUCT SERIES	LUMENS	LED CCT	DISTRIBUTION	POLE	ANCHOR BOLTS
VS	9 9K Nominal (VPS-38NB-90)	N 4000K C 5000K	T3 Type 3 T4 Type 4	S16 16' Square Straight Steel S20 20' Square Straight Steel S25 25' Square Straight Steel	- With Anchor Bolts/Template LAB Less Anchor Bolts/Template
VL	20 20K Nominal (VPL-80NB-180) 29 29K Nominal (VPL-96NB-280)				SINGLE OR DOUBLE HEAD CONFIGURATION @180 DEG. - Single Head 2X Double Head @180 Deg.

**ACCESSORIES - Order Separately**

Catalog Number	Description
TAB30M38	3/4" x 30" x 3" anchor bolt set (four individual bolts)
93062959	SSS-B Series pole anchor bolt template

**BEACON HUBBELL LIGHTING**

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Due to our continued efforts to improve our products, product specifications are subject to change without notice.  
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**PERMIT SET**

PROJECT No.: B190164  
DRAWN BY: JSH  
CHECKED BY: SRW  
DATE: 8/12/2019  
SCALE: AS NOTED  
CAD I.D.: B190164SS00(USE THIS)

**PROJECT: SITE IMPROVEMENT PLANS FOR WORLD OLIVET ASSEMBLY**

LOCATION OF SITE  
115 DOVER FURNACE ROAD  
TOWN OF DOVER  
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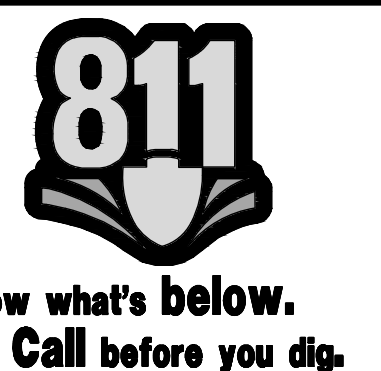
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RHODE ISLAND LICENSE No. 7289  
CONNECTICUT LICENSE No. 21854  
NEW HAMPSHIRE LICENSE No. 10280  
MAINE LICENSE No. 9490  
NEW YORK LICENSE No. 051564-1  
FLORIDA LICENSE #3, 66202

SHEET TITLE:  
**PHASE 1 LIGHTING PLAN B**

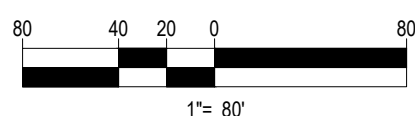
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**THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY**







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CHECKED BY: SRW  
DATE: 6/12/2019  
SCALE: AS NOTED  
CAD I.D.: B190164SS00(USE THIS)

PROJECT: **SITE IMPROVEMENT PLANS**  
FOR  
**WORLD OLIVET ASSEMBLY**

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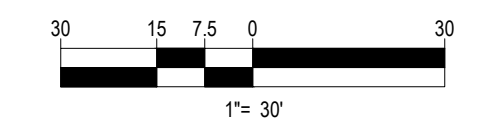
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SHEET TITLE:  
**PHASE 1 LIGHTING PLAN C**

SHEET NUMBER:  
**24**  
OF 24

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MATCHLINE - SEE SHEET 4